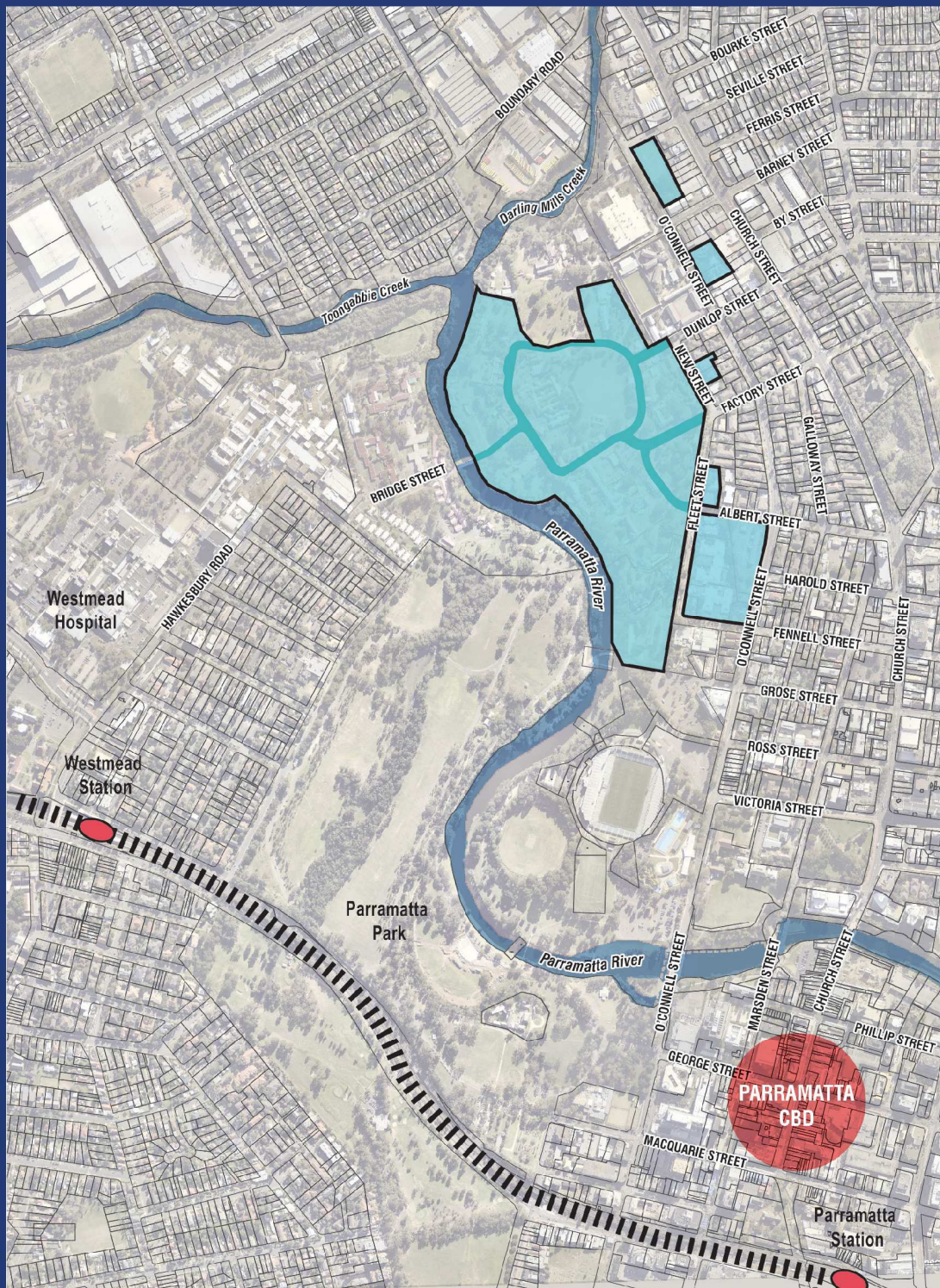


Draft Amendment to Parramatta Development Control Plan 2011



Parramatta North Urban Transformation Special Precinct Provisions



Introduction and Relationship to Other Documents

The Special Precinct provisions provide specific guidelines for future development in the Parramatta North Urban Transformation Precinct (PNUT). The relevant requirements of the remainder of the PDCP 2011 remain applicable except where there is an inconsistency, in which case these Special Precinct provisions apply.

The site, being listed on the State Heritage Register, is subject to a Conservation Management Plan. Any changes within the Parramatta North Historic Sites (PNHS), as part of the PNUT, will need to be carefully managed to avoid or minimise impacts on the significant heritage values of the Parramatta North Historic Sites identified in the Consolidated Conservation Management Plan.

The PNUT Special Precinct provisions must also be read in conjunction with the following documents and have been prepared to assist in the management of the site and in recognition of the significant heritage and ecological values of the PNUT:

1. Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP) 2017;
2. PNUT Riparian Corridor Strategy*;
3. PNUT Canopy Replenishment Strategy*;
4. PNHS Heritage Interpretation Strategy*;
5. New Uses for Heritage Places: guidelines for the adaption of historic buildings and sites, (Heritage Council of NSW and RAIA (now Australian Institute of Architects)) 2008;
6. Design in Context: guidelines for infill development in the historic environment, NSW Heritage Office (now Heritage Division, Office of Environment and Heritage)) and RAIA (now Australian Institute of Architects) 2005;
7. Parramatta North Urban Transformation Public Domain Plan*;
8. Development in Parramatta City and the Impact on Old Government House and Domain's World and National Heritage Listed Values, Planisphere, 2012.

**Denotes where Strategy or Plan that is subject to finalisation as part of the development application (Reference DA/1124/2016).*

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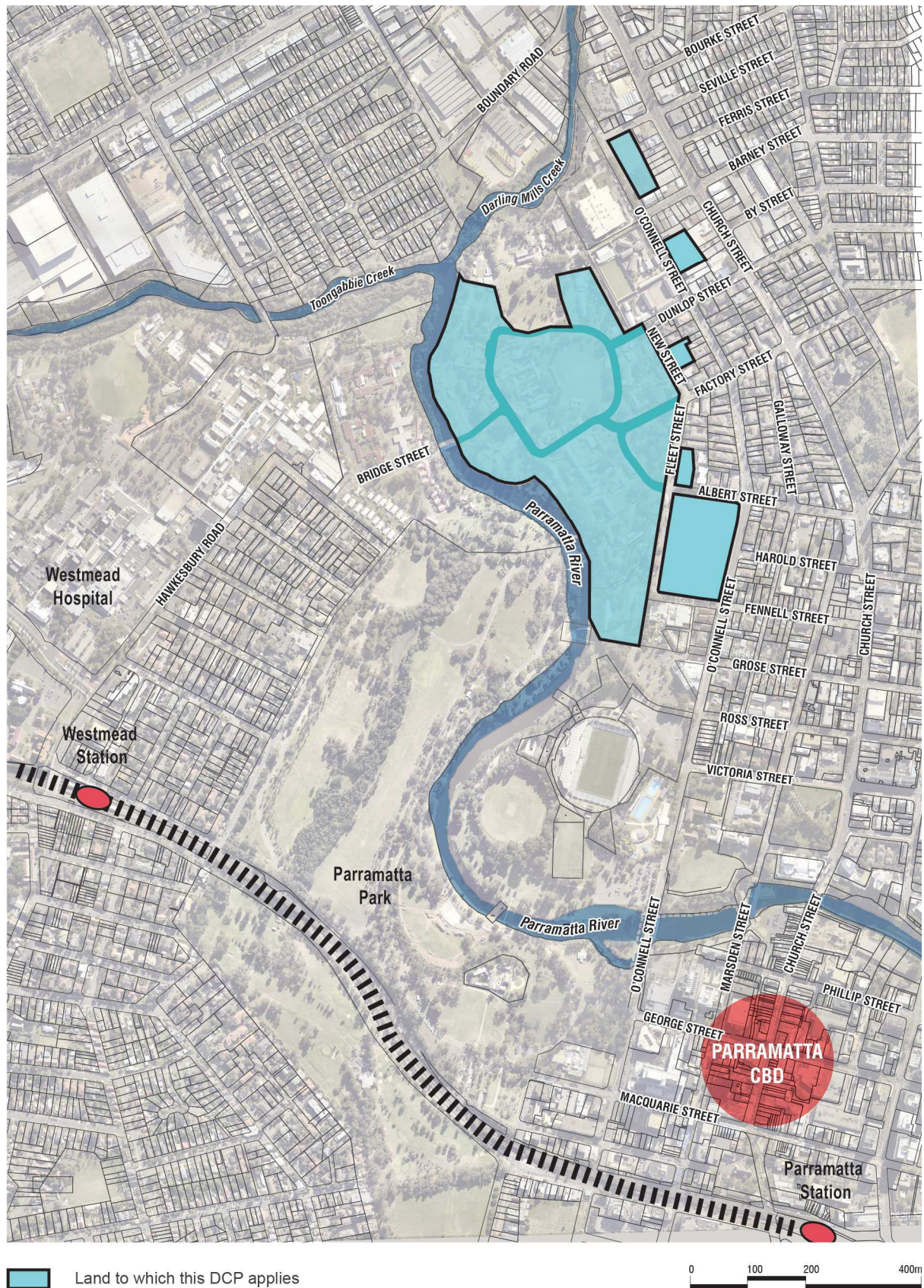


Figure 4.3.6.1. Land to which this DCP applies. Areas in Blue are collectively defined as the Parramatta North Urban Transformation area (PNUT)

Desired Future Character

The Parramatta North Urban Transformation (PNUT) will be realised as a mixed use renewal precinct located adjacent to the Parramatta CBD within a unique heritage, landscaped and river setting.

The precinct has a long history of Aboriginal, early colonial and later government institutional uses. This legacy will be preserved and interpreted through the conservation and adaptation of heritage buildings (and other structures), the retention and interpretation of significant archaeology, the retention and enhancement of the key landscape characteristics of the site, including significant trees and implementation of interpretive opportunities.

The precinct will facilitate the long term preservation and interpretation of the Historic Core, which contains the key built and landscape elements of the sites that previously included the Parramatta Female Factory, Lunatic Asylum, Roman Catholic Orphanage, Parramatta Industrial School for Girls, Norma Parker Centre and Kamballa.

The precinct will accommodate a network of connected public open spaces, including the central oval, local parks to the north and south, and along the Parramatta River foreshore. The open space will incorporate heritage buildings and structures, mature landscapes, and preserve significant ecological values along the riparian corridor. Extensive landscaping will provide a high quality and high amenity setting for the precinct.

The vitality of the precinct will be supported by the planned Parramatta Light Rail, which will provide connections to the employment, educational, recreation and health precincts within the Greater Parramatta area. New road, pedestrian and cycling networks will support regional and local transport connections.

New buildings will occur in a variety of forms, and will generally scale down in height from east to west across the precinct. New development will respond to significant views, vistas, cultural landscapes, plantings and historical (non-Aboriginal) archaeology and will be suitably integrated with the retained heritage buildings and their settings.

New development will be suitably set back, both at ground level and or tower form so that they do not visually dominate the street, allow a pedestrian scale to be maintained at street level, be sympathetic to existing built form and respond to adjacent heritage buildings.

The eastern edge of the precinct will contain the core of the precinct, a vibrant neighbourhood centre around the Factory Street extension. The centre will offer opportunities for a range of retail, commercial and residential uses that will serve the new and existing local communities. Development within the centre will deliver a high quality public domain, pedestrian through site links, street trees and wide footpaths. The centre will have active ground floor uses that provide high levels of pedestrian amenity and reinforce the role of these streets as a vibrant and attractive retail/commercial centre.

NOTE: Development must comply with the controls set out below and any relevant controls in Parts 2 and 3 of this DCP. Where there is any inconsistency the PNUT Special Precinct Provisions of this Part will prevail.

Objectives

- O.1 To provide for the conservation and interpretation of the rich heritage values of the Parramatta North Historic Sites.
- O.2 To recognise the unique quality and character of the site as the context and a reference for the architectural character of new buildings, structures and public spaces.
- O.3 To provide a high quality landscaped residential and commercial precinct in a well-connected location close to the Parramatta CBD.
- O.4 To ensure the design of new buildings and public spaces is of a high quality and integrates with the unique heritage, landscape and cultural qualities of the site.
- O.5 To ensure that development respects the greater Parramatta Park area and World Heritage listed Old Government House and Domain precinct.
- O.6 To facilitate visual and physical access to the Parramatta River and opportunities for future connections across the river.
- O.7 Provide new development, mainly in the form of residential apartments, that respects the existing heritage buildings and landscapes.
- O.8 To facilitate improved active transport links to the surrounding area.

Principles

- P.1 Conserve and activate buildings of cultural significance through appropriate new uses.
- P.2 Interpret the diverse aspects of Aboriginal and European history and occupation of the site and river foreshore.
- P.4 Locate new development to facilitate the retention of significant archaeology and include interpretation of significant past uses such as the Female Factory, the Mill Races, Marsden's Mill and Mrs. Betts' House.
- P.5 Retain and enhance the key landscape characteristics of the site, consistent with the *PNUT Canopy Replenishment Strategy*.
- P.6 Scale, siting and location of development to respect key heritage views and vistas.

Design Quality

Excellence in design is a requirement for development in the PNUT to ensure new development respects the heritage qualities and contributes positively to the neighbourhood, streetscape and public domain within and surrounding the PNUT.

Design Objectives

- O.1 Development will deliver high quality built forms that contributes positively to the streetscape and public domain and respects the heritage significance of the site.
- O.2 New buildings will demonstrate design excellence and consideration of their location and context.
- O.3 New buildings will integrate positively with the surrounding streetscape, public domain and existing buildings, in particular the Parramatta North Historic Sites (PNHS).
- O.4 The architectural design and detailing of new development must respect the existing context to provide integration with the surrounding urban fabric.
- O.5 Architectural diversity and interest in the PNUT is encouraged. To achieve this objective, buildings in adjacent development lots are not to be the same or overly similar in design.

Design Principles

- P.1 New buildings and adapted heritage buildings within the PNUT are to provide for high quality urban design and architectural outcomes. Development applications for new buildings within the PNUT are to comply with the relevant Design Excellence provisions of the City of Parramatta planning controls and processes.
- P.2 In accordance with *Parramatta Local Environmental Plan 2011*, development consent for some developments may not be granted unless an architectural design competition is carried out (refer to Clause 6.12 Design Excellence, *Parramatta Local Environmental Plan 2011*). As part of the competition process for developments within PNUT, at least one member of the Design Jury must have relevant heritage architectural expertise.
- P.3 Development will be considered by the Design Excellence Advisory Panel (DEAP) for review as part of the design development and approval process. The DEAP is to be consulted in the Pre-Development Application phase, in the Development Application assessment phase and again during construction to ensure comments and guidance have been appropriately incorporated or addressed in the finished development. In considering development applications for PNUT, at least one member of the DEAP must have relevant heritage architectural expertise.

Subdivision

The Indicative Layout Plan (ILP) (Figure 4.3.6.2) has been prepared to inform the masterplanning, structure and development lot subdivision of the site. The ILP has been prepared in response to the heritage significance and history of the site and existing circulation networks.

Objectives

- O.1 To ensure subdivision of the site is sympathetic to the existing street and public domain layout and is sensitive to the location of heritage buildings, their curtilages and landscape settings.
- O.2 To provide a subdivision with a legible and logical public domain (of streets and open spaces) and future development site layout that responds to and respects the built and landscape heritage of the site.
- O.3 To provide a range of development lots of suitable sizes and dimensions to support high quality residential and mixed use development.
- O.4 To facilitate the timely delivery of the street network, open space areas and supporting infrastructure.
- O.5 To enable the protection and management of existing heritage buildings and proposed new buildings within development lots.
- O.6 To not prejudice affect the future development of sites adjacent to the PNUT.
- O.7 To provide opportunities for connections with surrounding land.

Principles

- P.1 To ensure that development lots facilitate the conservation and interpretation of the Parramatta North Historic Sites as places of exceptional heritage significance.
- P.2 Subdivision of the site is consistent with the intent of the Indicative Layout Plan shown in Figure 4.3.6.2 and the objectives and principles contained in this development control plan.
- P.3 Provide development lots that facilitate a new local retail centre at Factory Street and Fleet Street.
- P.4 Provide development lots that allow for new development to be sensitively located adjacent to existing heritage buildings and landscapes.
- P.5 Allow for the provision of efficient and effective public transport options for the site.

Controls

- C.1 Subdivision is to create contiguous lots known as the 'Historic Core' of the site, shown as areas F6, F7 and F8 on Figure 4.3.6.2. The 'Historic Core' is to contain the key built and landscape elements of the sites that previously included the Parramatta Female Factory, Lunatic Asylum, Roman Catholic Orphanage, Parramatta Industrial School for Girls, Norma Parker Centre and Kamballa.
- C.2. The subdivision of the 'Historic Core' area is subject to an assessment of the historic and existing site boundaries, and any impacts on heritage significance and future ownership or management regimes.

- C.3 Subdivision is to create a legible public domain of streets, and public open spaces that respects and responds to the heritage attributes of the PNUT.
- C.4 Development applications for subdivision are to be in accordance with the Street Types and Connections at Figure 4.3.6.4.
- C.5 Proposals for further subdivision of the developments lots shown in the Indicative Layout Plan at Figure 4.3.6.2 must be subject to an assessment of heritage impact including analysis of any changed management regimes for buildings, landscaping or archaeological relics that may be impacted.

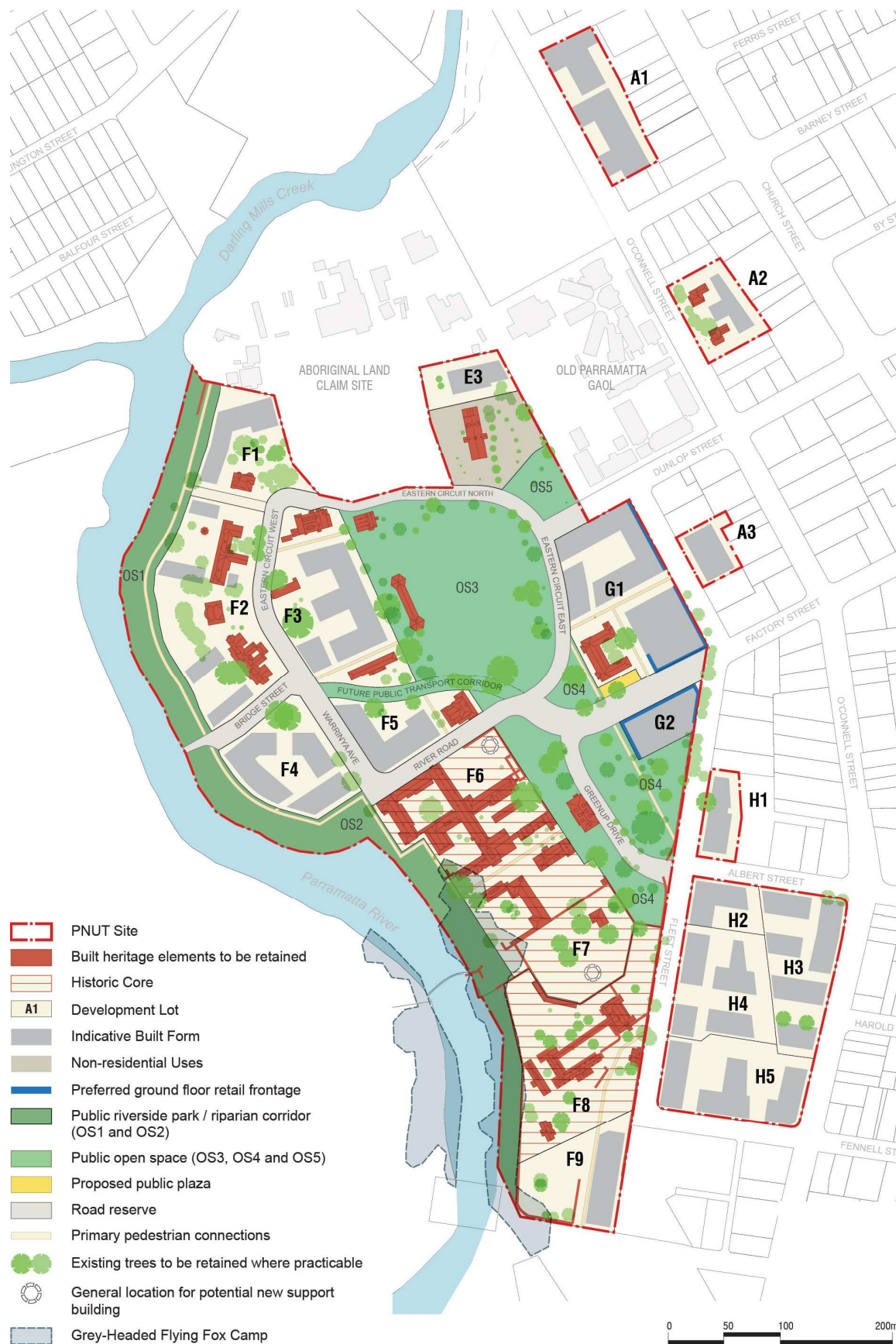


Figure 4.3.6.2. Parramatta North Urban Transformation Indicative Layout Plan

Public Domain and Open Space

Objectives

- O.1 Creation of an open space network within the site that provides for high quality amenity.
- O.2 Creation of an open space network that retains, conserves and interprets the heritage of the site, including historic elements within the public domain and open space.
- O.3 Creation of an open space network that accommodates a range of active and passive recreational uses.
- O.4 To provide open space linkages to the Parramatta River foreshore, with consideration of the sensitive ecological values of the area.
- O.5 Ensure that new buildings are designed, located and orientated to help activate and define open spaces.
- O.6 Maximise public access to the open space network, and provide an integrated pedestrian and cycle network.
- O.7 Develop sustainable stormwater and ecological management systems.
- O.8 Enhance and expand connections of existing vegetation communities to the river foreshore.
- O.9 Enhance the existing mature landscape qualities of the site.

Design Principles

- P.1 Provide a linear open space on the bank of the Parramatta River that contributes to local amenity and regional connectivity.
- P.2 Provide an open space network that links to wider regional open spaces.
- P.3 Provide a hierarchy of open spaces that offer active and passive recreation.
- P.4 Make public open space areas accessible to the community.
- P.5 Ensure that the new uses for retained heritage buildings situated in the public domain enhance their relationship with the public domain.
- P.6 Provide appropriate and activated interfaces between new and existing buildings, public open spaces, and the planned light rail route. These interfaces are to reflect sound urban design principles, and activate the spaces appropriately to provide safety.
- P.7 New services infrastructure must be located underground to avoid visual impacts on significant cultural landscapes, in particular the curtilage and wider setting of significant buildings and structures, open space areas, cultural plantings and views.
- P.8 Boundaries must be clearly articulated between public and private open space areas around and within development lots in a manner that respects and enhances the landscape qualities of the *Parramatta North Historic Sites* (PNHS).

Design Controls

- C.1 Development applications for subdivision are to be in accordance with the Open Space Plan at Figure 4.3.6.3 Open Space Provision.
- C.2 New and retained buildings adjacent to the public plaza on the extension to Factory Street are to allow pedestrian access and actively address the plaza.
- C.3. New and retained buildings adjacent to the planned light rail route are to positively address this space with building and development elements that allow pedestrian access and movement. Future development is to include consideration of opportunities to facilitate pedestrian and cyclist usage of this linear space as an east-west shared path.
- C.4 Development is to comply with the principles and guidelines contained in the *PNUT Public Domain Plan*.
- C.5 The significant elements, including archaeological resource and fabric, within the public domain and open space will be conserved in accordance with the *Parramatta North Historic Sites Consolidated Conservation Management Plan*. Interpretation of the history and heritage significance of the PNHS will be undertaken in accordance with the *PNHS Heritage Interpretation Strategy* and will adopt 'best practice' methods to deliver key themes and messages.

PUBLIC DOMAIN & OPEN SPACE



Figure 4.3.6.3. Open Space Provision

Site Access, Circulation and Connectivity

Design Objectives

- O.1 To encourage walking and cycling within and through the site by providing safe and legible pedestrian, cycle and shared paths.
- O.2 To provide for safe, clear and legible pedestrian, cycle and vehicular movements within the site and connecting to surrounding areas.
- O.3 To provide for opportunities for future integration with adjoining land and connections to regional open space and cycle networks.
- O.4 To provide regional pedestrian and cycleway connections on the site to facilitate east-west and north-south movements.
- O.5 To accommodate potential public transport access through the PNUT.
- O.6 To provide new connections through development lots to respond to heritage buildings and landscapes, improve through block connections and better links to regional connections.

Design Principles

- P.1 Create new site vehicular and pedestrian access points at Factory Street and Dunlop Street.
- P.2 Enhance east-west and north-south connectivity and permeability which prioritise pedestrians and cyclists.
- P.3 Establish a clear site circulation loop based on the existing street pattern centred on the existing oval.
- P.4 Incorporate a cycleway system within and through the site that connects with the broader Parramatta cycle network.
- P.5 Provide a network that can be expanded into surrounding lands.
- P.6 Pedestrian and cycle paths will be provided to best practice design, but may require the provision of narrower paths where constrained by topography, heritage or ecological considerations.
- P.7 Opportunities for future provision of pathways along the riparian corridor between Lots F4 and F9 should be explored in the future subject to ecological and heritage considerations.
- P.8 Opportunities for future provision of a north-south extension of the Parramatta River cycleway adjacent to Lots F7 and F8, and future river crossings to Parramatta Park (to the west) should be explored subject to recognised heritage and ecological constraints.

Design Controls

- C.1 Development applications for pedestrian and cycle connections are consistent with Figures 4.3.6.4 to 4.3.6.14.
- C.2 Future paths are to facilitate a network of shared (pedestrian and cyclists) use paths whilst minimising the extent of new paved surfaces.
- C.3 Paving treatments are to be consistent with the *PNUT Public Domain Plan*.

NEW STREET TYPES

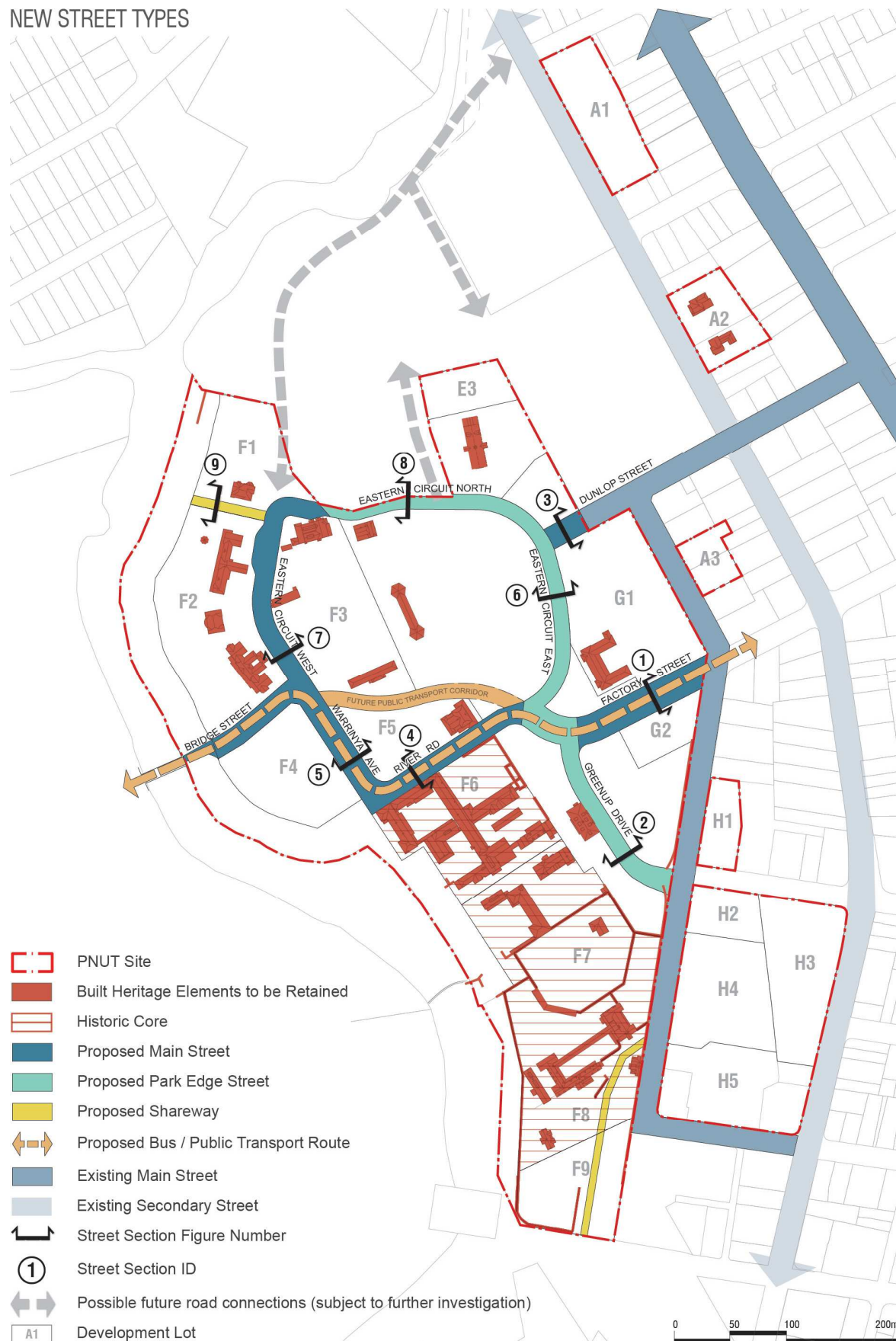


Figure 4.3.6.4. Street Types and connections for PNUT

PEDESTRIAN & CYCLE NETWORK

Legend:

- PNUT Site
- Built Heritage Elements to be Retained
- Historic Core
- Parramatta Cycleway Network
- Potential Future On Road Cycleway Connection
- Shared Path (Pedestrian / Cycle)
- Primary Pedestrian Network
- Fine Grain Through Site Pedestrian Links
- Potential Future Pedestrian Links
- Potential Pedestrian Through Site Links subject to future investigation
- Potential Shared Path (Pedestrian / Cycle) subject to future investigation
- Potential Future Cycleway Links
- Road Reserve
- Public Open Space
- Non-Residential Uses
- Development Lot

Map Labels:

- BURLINGTON STREET
- BALFOUR STREET
- Toongabbie Creek
- Dealing Creek
- EASTERN CIRCUIT NORTH
- EASTERN CIRCUIT WEST
- EASTERN CIRCUIT EAST
- WARRINYA AVE
- RIVER RD
- GREENUP DRIVE
- ALBERT STREET
- HAROLD ST
- FENNEL STREET
- O'CONNELL STREET
- CHURCH STREET
- BARNEY STREET
- FERRIS STREET
- OLD PARRAMATTA GAOL
- DUNLOP STREET
- NEWM STREET
- FACTORY ST
- BRIDGE STREET

Map Annotations:

- Connect to existing street/ cycle network on O'Connell Street
- Potential connection to existing street/ cycle network
- FUTURE PUBLIC TRANSPORT CORRIDOR

Scale: 0 50 100 200m

Indicative Pedestrian and Cycle Network for PNUT

Street Network

Design Objectives

- O.1 To provide a street network that responds to the heritage constraints of the site as well as the existing street network and development pattern.
- O.2 To restrict car parking in order to minimise traffic congestion and visual impacts and encourage transport use by means other than private vehicles.
- O.3 To maximise the legibility of the street layout by establishing a clear hierarchy of streets, and protecting heritage places and structures.
- O.4 To provide significant street tree planting to achieve shady streets for pedestrians.

Design Principles

- P.1 Detailed design and implementation of new streets are to have regard to the site's heritage values and constraints.
- P.2 Significant road alignments are to have regard to the *Parramatta North Historic Sites Consolidated Conservation Management Plan*.
- P.3 Retention, repair and reuse of significant sandstone kerbing is to be consistent with the requirements of the *Parramatta North Historic Sites Consolidated Conservation Management Plan* and the *PNUT Public Domain Plan*.

Design Controls

- C.1 Development applications for street network are to be in accordance with the Street Types at Figure 4.3.6.4. Any proposed variations must demonstrate that:
 - The proposed changes meet the Objectives for this section.
 - Appropriate connections are provided within the site and opportunities for connections are provided to surrounding areas.
- C.2 New and upgraded streets are to be consistent with the indicative street sections at Figures 4.3.6.6 to 4.3.6.14 and the *Public Domain Plan*.
- C.3 New and upgraded streets are as per *Austroads Pavement Design Guide*, subject to an assessment of any site specific design requirements or constraints.

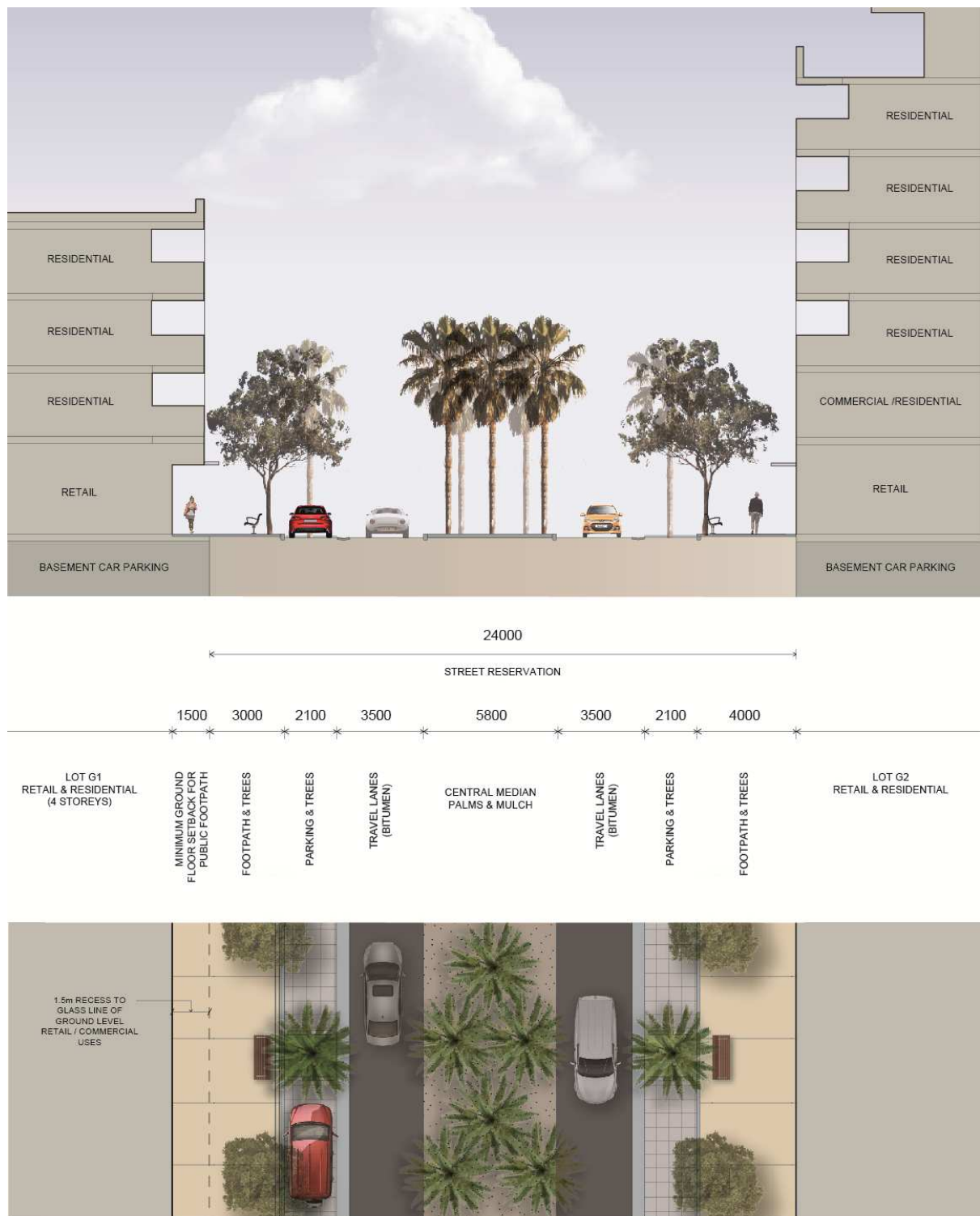


Figure 4.3.6.6. Typical street section 1 – Factory Street

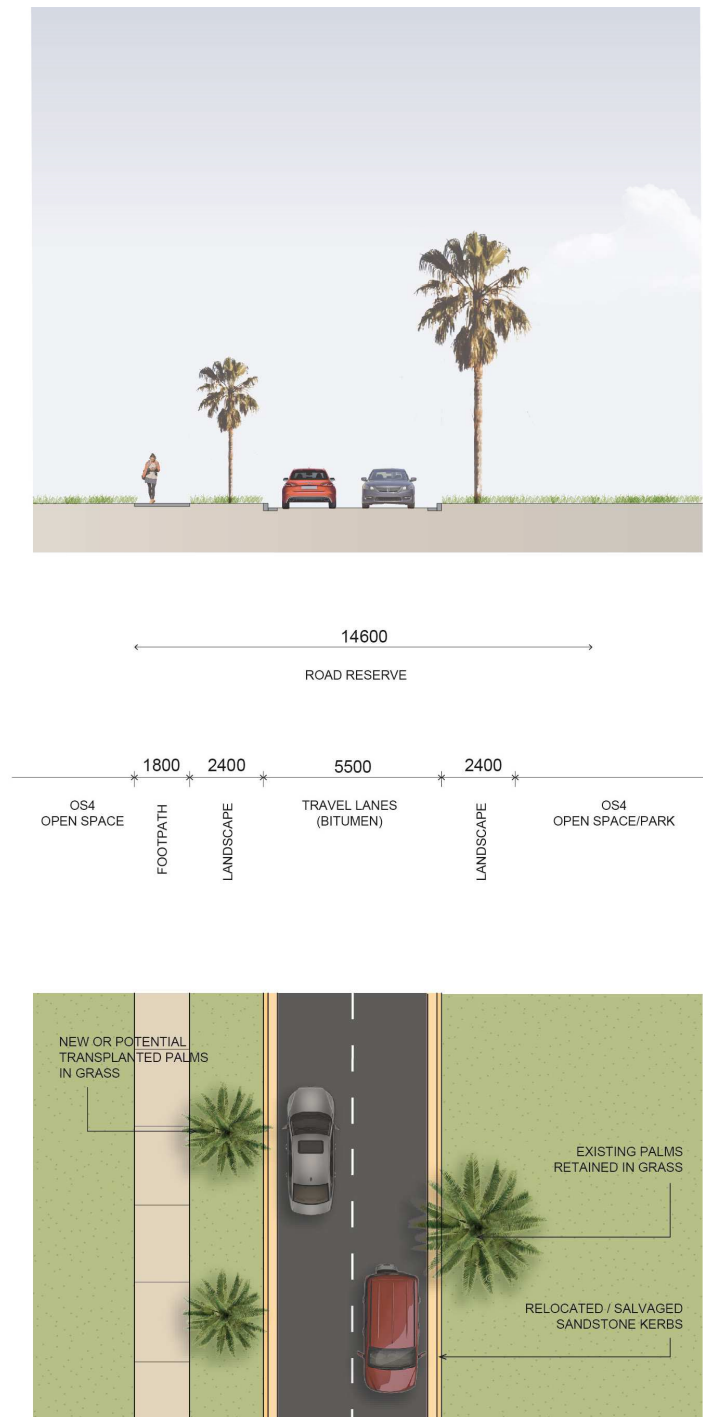


Figure 4.3.6.7. Typical street section 2 – Greenup Drive

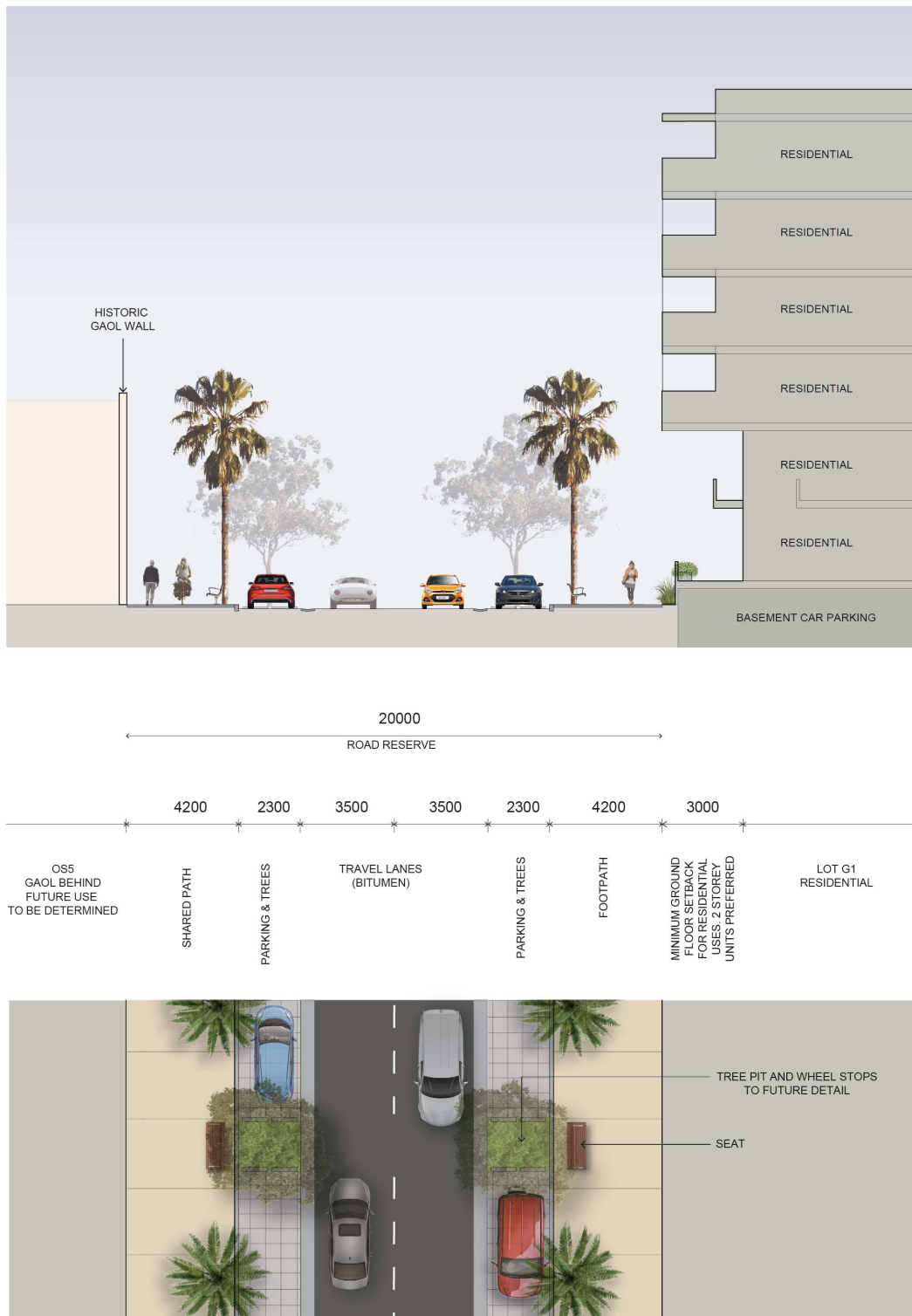


Figure 4.3.6.8. Typical street section 3 – Dunlop Street



Figure 4.3.6.9. Typical street section 4 – River Road



Figure 4.3.6.10.

Typical street section 5 – Warrinya Avenue

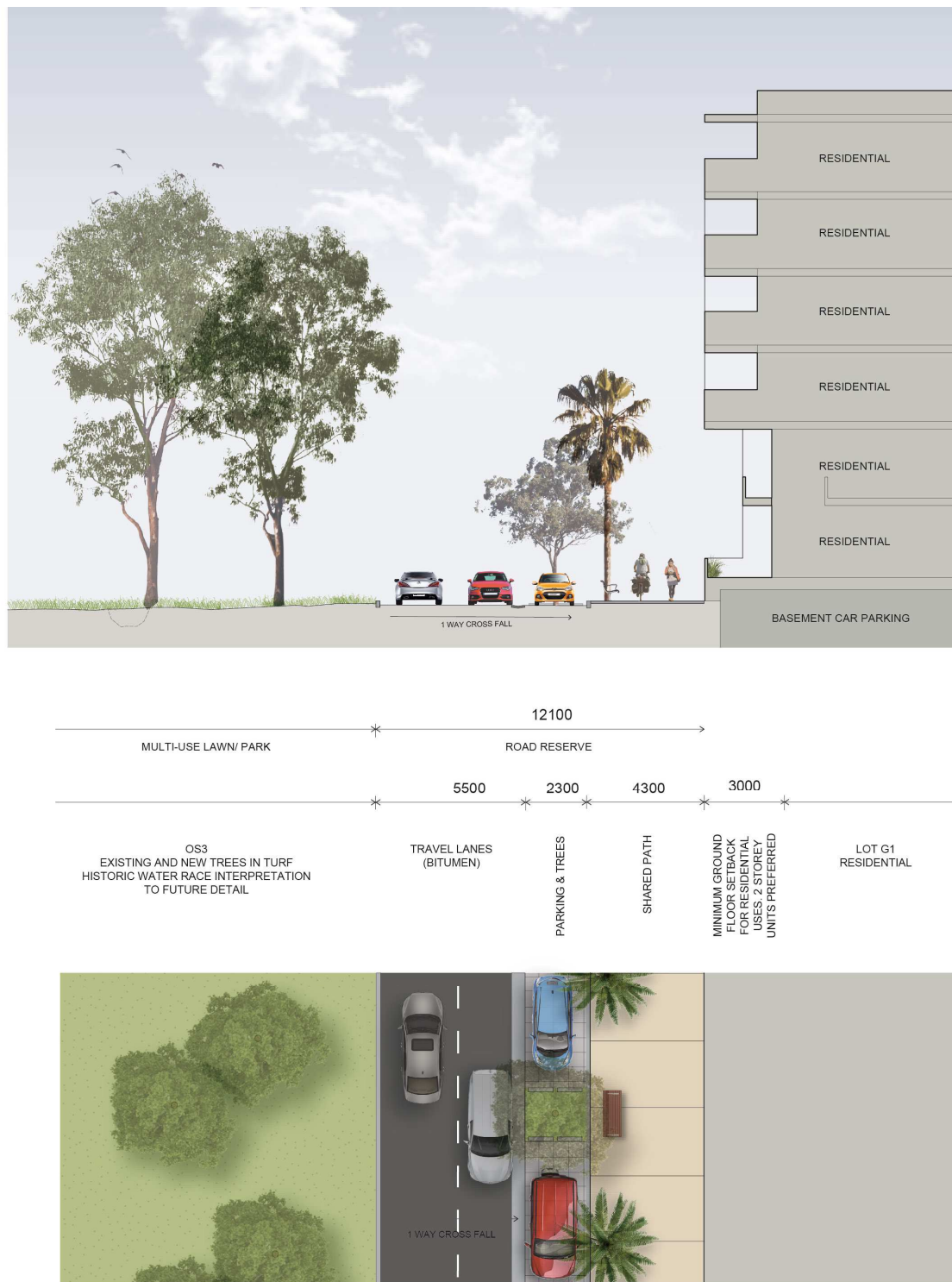


Figure 4.3.6.11. Typical street section 6 – East Circuit (east)

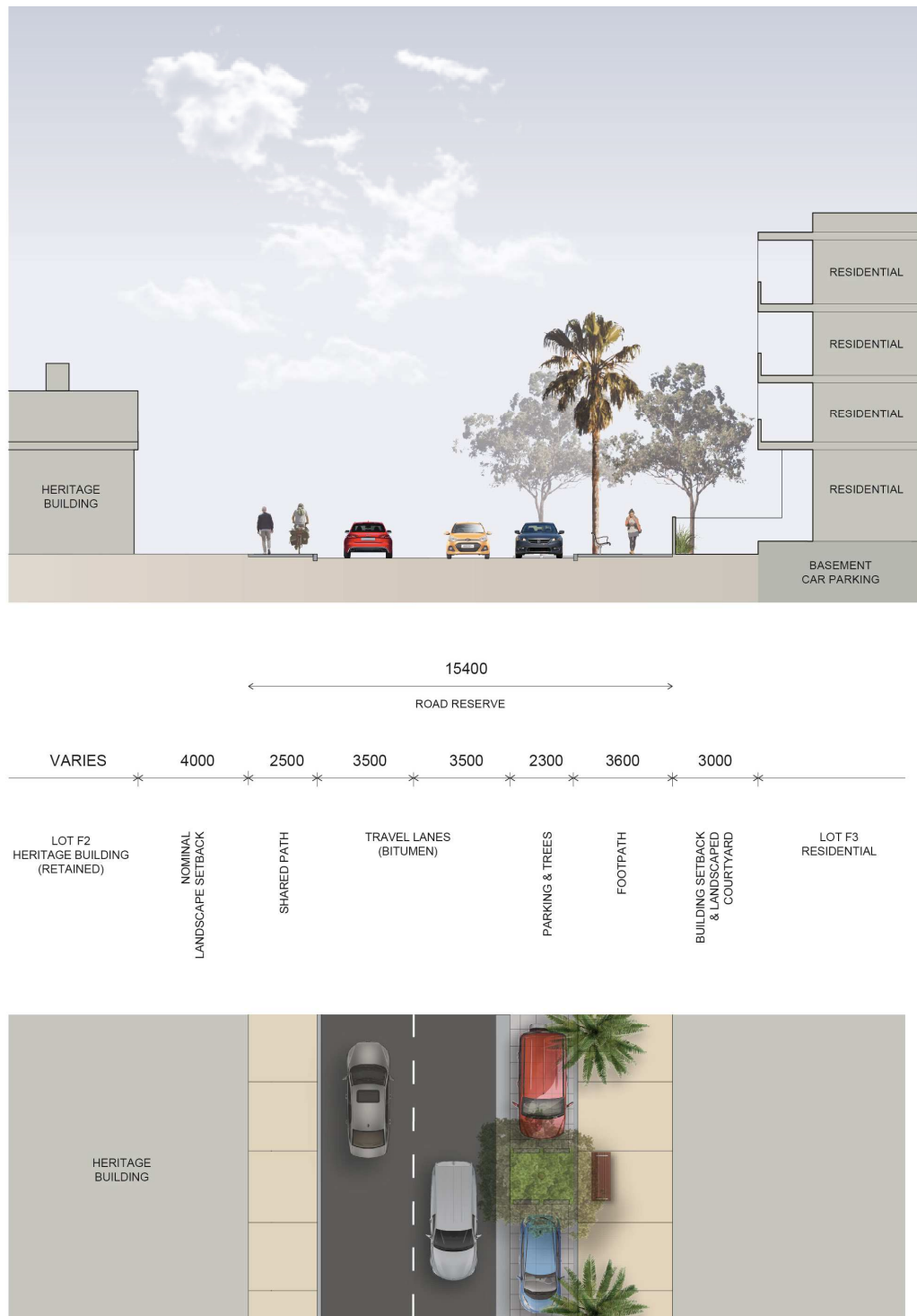


Figure 4.3.6.12. Typical street section 7 – East Circuit (west)



Figure 4.3.6.13. Typical street section 8 – East Circuit (north)

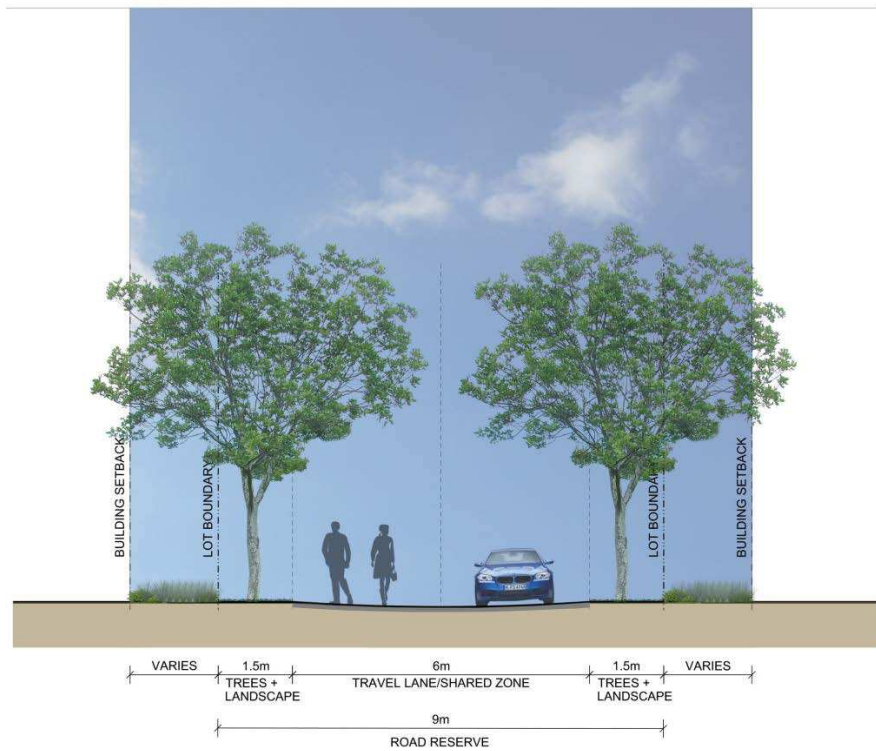


Figure 4.3.6.14.

Typical shared street section 9

Allocation of Gross Floor Area

The maximum floor space ratio controls for the site are provided in the *Parramatta Local Environmental Plan 2011*. Identifying a maximum gross floor area, rather than a maximum floor space ratio, to some of the development lots may be considered where early subdivision and delivery of roads and open space (to be dedicated to Council) reduces the overall site area of the majority of development lots. In that instance, a gross floor area will be calculated by multiplying the gross site area of a development lot (that is, the lot inclusive of roads and open space to be dedicated to Council) by the maximum floor space ratio in the *Parramatta Local Environmental Plan 2011*.

Objectives

- O.1. To regulate the density of development identifying a maximum gross floor area for twelve development lots (E3; F1; F2; F3; F4; F5; F6, F7 and F8; F9; G1; and G2) consistent with the maximum floor space ratio in the *Parramatta Local Environmental Plan 2011*.
- O.2 To allow for the early delivery of public open space and street network.

Principle

- P.1 The gross floor area permitted for any development lots is a maximum which may not be achievable when all planning and assessment considerations are taken into account such as heritage curtilage, retention of significant trees, significant archaeology, street and upper level setbacks and *Apartment Design Guide* considerations.

Controls

- C.1 That maximum gross floor area for any development lot is not to exceed the gross floor area as shown in the table in Figure 4.3.6.15 or as otherwise nominated by a Notice of Development Consent granted by a relevant consent authority.
- C.2 The maximum gross floor area for each lot shall include all buildings accommodated on a development lot, including retained heritage buildings and structures.
- C.3 The maximum gross floor area for each development lot, shall only be allocated within that development lot. Should a maximum gross floor area not be able to be achieved for a development lot that amount of floor area cannot be transferred to any other development lot.
- C.4 Development applications must submit supporting plans that demonstrate the gross floor area outcome on the development lot is consistent with Figure 4.3.6.15.

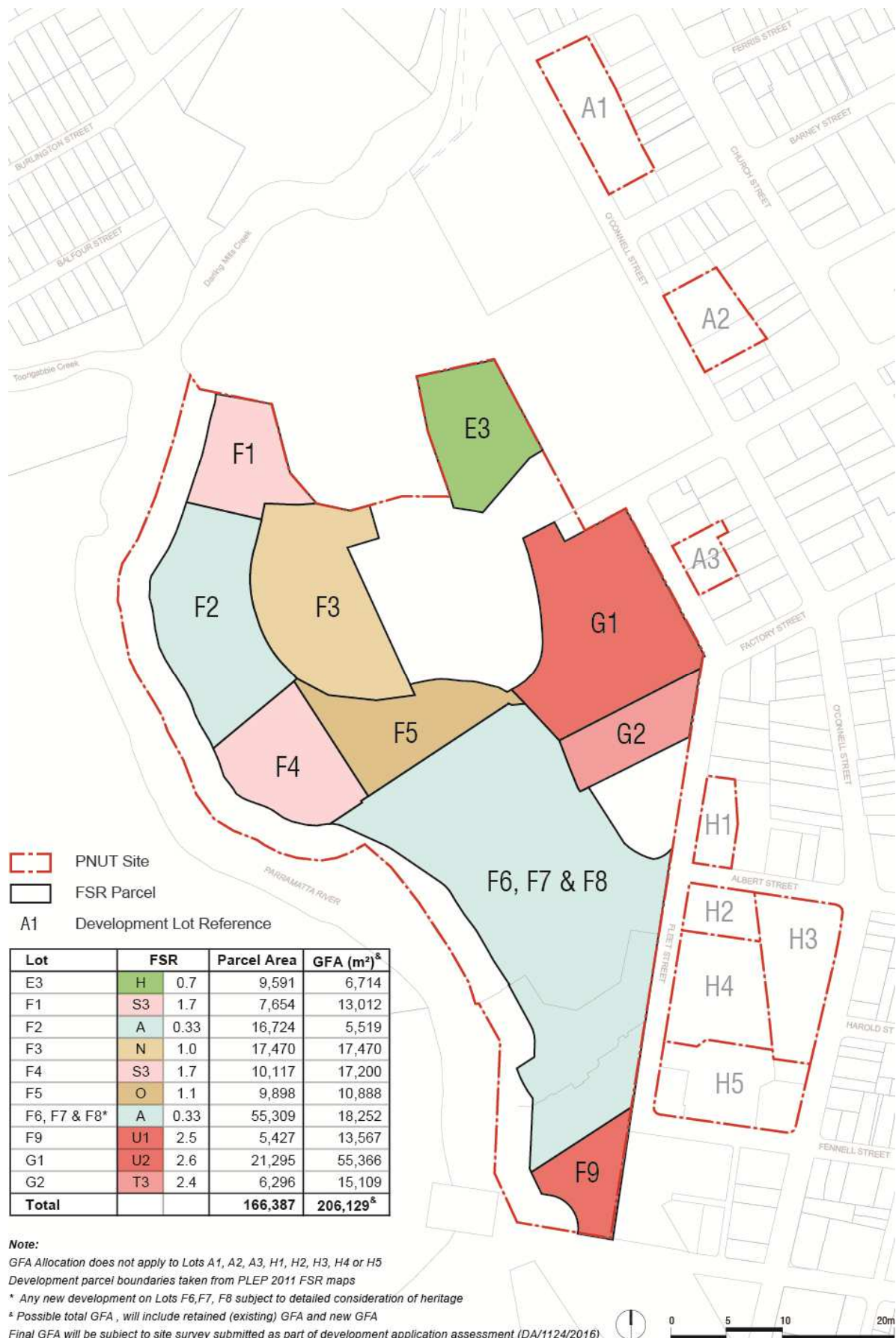


Figure 4.3.6.15

Allocation of Gross Floor Area

Biodiversity

The PNUT contains species that are listed as vulnerable under the *NSW Threatened Species Conservation Act 1995* (TSC Act) and the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act). These may include:

- Grey Headed Flying Foxes (GHFF)
- Eastern Freetail Bat
- Eastern Bent Wing Bat
- River-Flat Eucalypt Forest (remnant and regrowth)
- Habitat for other threatened species that may occur on the site.

Objectives

- O.1 To have consideration for and maintain the biodiversity of the PNUT.
- O.2 To minimise habitat disturbance and avoid disturbance of the GHFF camp.
- O.3 To enhance the ecological values of the riparian corridor and the River-Flat Eucalypt Forest.
- O.4 To avoid adverse impacts upon threatened and vulnerable species and significant ecological communities.

Principles

- P.1 To retain, conserve and enhance the ecological values of the riparian corridor (in areas not identified as having significant cultural plantings or lawn areas) by:
 - Revegetating with local provenance species consistent with the River-Flat Eucalypt Forest Ecological Community; and
 - Implementing best practice bush regeneration techniques to regenerate native vegetation species and control weeds.
- P.2 Retain the GHFF camp by:
 - Minimising habitat disturbance;
 - Minimising disturbance of the flying-foxes, particularly during fly-in (dawn) and fly-out (dusk), during heat stress events and during the sensitive period in the life cycle (approximately September to January);
 - Restricting public access to the core camp area using physical barriers such as the existing heritage wall, and signage;
 - Minimising the risk of future conflict by designing suitable reuse of nearby buildings compatible with their close proximity to the flying-fox camp; and
 - Educating the community about the risks and benefits of flying-foxes

Controls

- C.1 Development of the PNUT must submit appropriate assessment documentation to demonstrate consideration of the ecological values of the PNHS site.
- C.2 Development shall demonstrate it has regard to the *PNUT Riparian Corridor Strategy* (ELA 2016) and *PNUT Canopy Replenishment Strategy*.

4.3.6.1 Heritage

The Parramatta North Urban Transformation (PNUT) incorporates a substantial part of the Parramatta North Historic Sites (PNHS)—namely the Cumberland Hospital (East Campus) site and Norma Parker Centre/Kamballa site. These sites are listed on the Parramatta Local Environmental Plan 2011 and the State Heritage Register because of their exceptional heritage significance to the people of Parramatta and New South Wales.

The Female Factory/Lunatic Asylum Precinct of the Cumberland Hospital (East Campus) site and all of the Norma Parker Centre/Kamballa site are also included in the nomination of the 'Former Female Factory Precinct, Parramatta' to be included in the National Heritage List administered under the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999*. The PNUT is located adjacent to the World Heritage Listed Old Government House and Domain precinct. Therefore, any development proposals for the PNUT will require statutory consent from the City of Parramatta Council and the NSW Government. Referral may also be required to the Commonwealth Government.

The *Parramatta North Historic Sites Consolidated Conservation Management Plan* (the PNHS CMP) has been prepared to assist current and future owners, managers and other site users with the ongoing management of the heritage values of the PNHS. The *PNHS CMP* has been endorsed by the Heritage Council of NSW and all development for the PNUT will be required to comply with its principles, policies and guidelines.

The PNHS CMP comprises three (3) parts that should be read in conjunction with each other:

- Part A – Overview Report provides an overview history and significance of the PNHS and establishes the over-arching principles, policies and guidelines that apply across all three sites. It also provides analysis of Aboriginal archaeology and cultural heritage values, historical (non-Aboriginal) archaeology and the broader cultural landscape of the PNHS.
- Part B – Significance Assessments comprises three separate reports providing historical analysis and assessment of the heritage significance for the Cumberland Hospital (East Campus) site, Parramatta Gaol site and Norma Parker Centre/Kamballa site.
- Part C – Lot Specific Guidelines includes a detailed heritage assessment of the components within each management lot and/or precinct and provides specific conservation and development guidelines for those components.

The Part C guidelines for each Development Lot will be required to be prepared and endorsed by the Heritage Council of NSW prior to lodgement of the relevant development application.

Development within each Development Lot is to be consistent with the principles, policies and guidelines contained within the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*. It is noted that the PNHS CMP does not apply to Lots A3 and H1-H5.

STATE HERITAGE REGISTER LISTING BOUNDARIES



Figure 4.3.6.16

State Heritage Register Listing Boundaries

Aboriginal Archaeology and Cultural Heritage

The PNUT is of high significance to the Aboriginal community and has the potential to contain significant evidence of Aboriginal occupation. The PNUT area is a place of potential significance relating to the long association of Aboriginal people with the Parramatta region, and is of contemporary significance due to the incarceration of Aboriginal people at the Roman Catholic Orphan School, Girls Industrial School, Norma Parker Centre/Kamballa and the adjacent Parramatta Gaol.

Objectives

- O.1 To ensure adequate protection and best-practice management of Aboriginal archaeology and cultural heritage within the PNUT.

Controls

- C.1 Development within the PNUT is to be undertaken consistent with the requirements of the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*. An Aboriginal Heritage Assessment and Aboriginal Heritage Impact Permit (AHIP) may be required.
- C.2 Future development applications are to incorporate interpretation of Aboriginal history, significance and occupation of the PNUT consistent with the requirements of the *PNHS Heritage Interpretation Strategy*.

Cultural Landscapes

The PNUT contains significant cultural landscapes that include significant building layouts, spaces, built landscape elements and plantings.

Objectives

- O.1 To protect and appropriately manage the significant European cultural landscapes within the PNUT including layouts, spaces and hard landscaping elements.
- O.2 To retain and conserve significant trees, and minimise the number of trees removed to facilitate new development. Removal of trees is subject to due consideration of development alternatives and mitigation strategies consistent with the *PNHS CMP* and the *PNUT Canopy Replenishment Strategy*.
- O.3 To retain and conserve the character of the significant cultural landscapes consistent with the *PNHS CMP*.
- O.4 To protect significant views to and from the PNUT and significant views within the site consistent with the *PNHS CMP*.
- O.5 To protect views identified as important for the adjacent Old Government House and Domain precinct as defined in the 2012 Planisphere Report – views 4, 10, 11 and 16.

Controls

- C.1 New developments are to identify and respond to an appropriate setting (curtilage) of existing heritage buildings as identified in Section 4.3.6.2 of the DCP, and as documented in *PNHS CMP*.
- C.2 New developments that contain significant trees are to submit an arboricultural impact assessment and tree protection plan that identifies the current condition,

potential impacts, mitigation strategies and short and long term management requirements for the trees. The assessment is to be prepared in accordance with current best-practice and any vegetation management requirements of Part 5.4 – Preservation of Trees or Vegetation of the DCP.

- C.3 Significant tree plantings identified for retention are to be managed consistent with best-practice maintenance requirements and the staged replacement of the trees and the *PNUT Canopy Replenishment Strategy*.
- C.4 Future development is to minimise impacts on and conserve the sandstone walls and kerbs on both sides of Fleet Street. Any removed elements are to be salvaged and securely stored for potential reuse in maintenance and repair of the walls.
- C.5 Any new development must allow interpretation of the heritage significance of the site, consistent with the requirements of the *PNHS Heritage Interpretation Strategy*.
- C.6 Existing sandstone kerbs impacted by public domain or future lot development must be salvaged for re-use on site.
- C.7 Sandstone kerbing must be used (or re-used) to repair or reconstruct:
 - the sandstone kerbs along Greenup Drive and River Road;
 - the sandstone kerbs within the roadways of the Hospital for the Insane Precinct (F1 and F2);
 - in the vicinity of the Recreation Hall/Chapel (E3); and
 - retained sections along Eastern Circuit.
- C.8 Sandstone kerbing must be considered for use/re-use:
 - to assist with the re-instatement of Dunlop Street and/or Factory Street; and
 - repair or re-construct existing sandstone kerbs on Fleet Street.
- C.9 Where the salvaged sandstone is unsuitable for re-use as sandstone kerbing, opportunities to incorporate the stone into the public domain landscape (such as seating, path/garden edging) and/or site interpretation must be explored.
- C.10 Existing or salvaged sandstone kerbing shall be used within the Historic Core (Lots F6, F7 and F8) where appropriate.

Built Heritage

The PNHS incorporates a number of built heritage elements of cultural heritage significance. The *PNHS CMP* provides the assessed levels of heritage significance of buildings and structures as either exceptional, high, moderate or little significance or that are intrusive (refer Figure 4.3.6.17). The *PNHS CMP* also provides guidance for the conservation of these buildings and structures.

Objectives

- O.1 To protect the heritage significance of the PNHS within the PNUT.
- O.2 To conserve the significant buildings and structures within the PNUT that demonstrate the significant heritage values of the PNHS and adapt them for appropriate new uses.

- O.3 To ensure that new development responds to the retained heritage buildings and structures within and in the immediate vicinity of the PNHS consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan* (PNHS CMP).

Principles

- P.1 The assessment of the conservation of buildings and structures is to be consistent with their assessed levels of heritage significance (refer Figure 4.3.6.17) and guidelines as described in Policy 20 of Part A of the *PNHS CMP* and Inventory Sheets contained in Part B of the *PNHS CMP*.
- P.2 Sensitive adaptive re-use of heritage buildings is encouraged. New uses must be compatible with the heritage significance of the place and be undertaken in accordance with the *PNHS CMP* and best-practice guidelines including *New Uses for Heritage Places: guidelines for the adaption of historic buildings and sites*, prepared by the Heritage Council of NSW and RAIA (now Australian Institute of Architects) in 2008.
- P.3 New buildings must be consistent with best-practice guidelines including *Design in Context: Guidelines for infill development in the historic environment*, prepared by the NSW Heritage Office (now Heritage Division, Office of Environment and Heritage) and RAIA (now Australian Institute of Architects) in 2005.

Controls

- C.1 Proposed works to heritage buildings and structures within the PNUT and new development in the vicinity of heritage buildings is to be consistent with the requirements of the *PNHS CMP*.
- C.2 A Heritage Impact Statement is to be prepared by a suitably qualified heritage expert as part of any development application within the PNUT.

The Heritage Impact Statement is to be prepared consistent with the current best-practice and is to address:

- The heritage significance of the building or structure and its contribution to the heritage significance of the PNHS area.
 - The options that were considered when arriving at a preferred development and the reasons for choosing the preferred option.
 - The impact of the proposed development on the heritage significance of the building or structure, other buildings within the vicinity and the significance of the broader PNHS.
 - The compatibility of the development with the policies and guidelines contained within the *PNHS CMP*.
 - Landscape heritage assessment which includes impact of development on the immediate and whole of historic landscape character, including important views.
- C.3 As required by the *PNHS CMP*, where the development application proposes the full or substantial demolition of a building, approval is required under Section 57(2) or Section 60 of the *Heritage Act 1977* and under the provisions of the *Parramatta Local Environmental Plan 2011*.
- C.4 Where the development application proposes the full or substantial demolition of a building, a Heritage Impact Statement must address Policy 20 and 49 of the *PNHS Conservation Management Plan – Part A Overview Report* and demonstrate that:

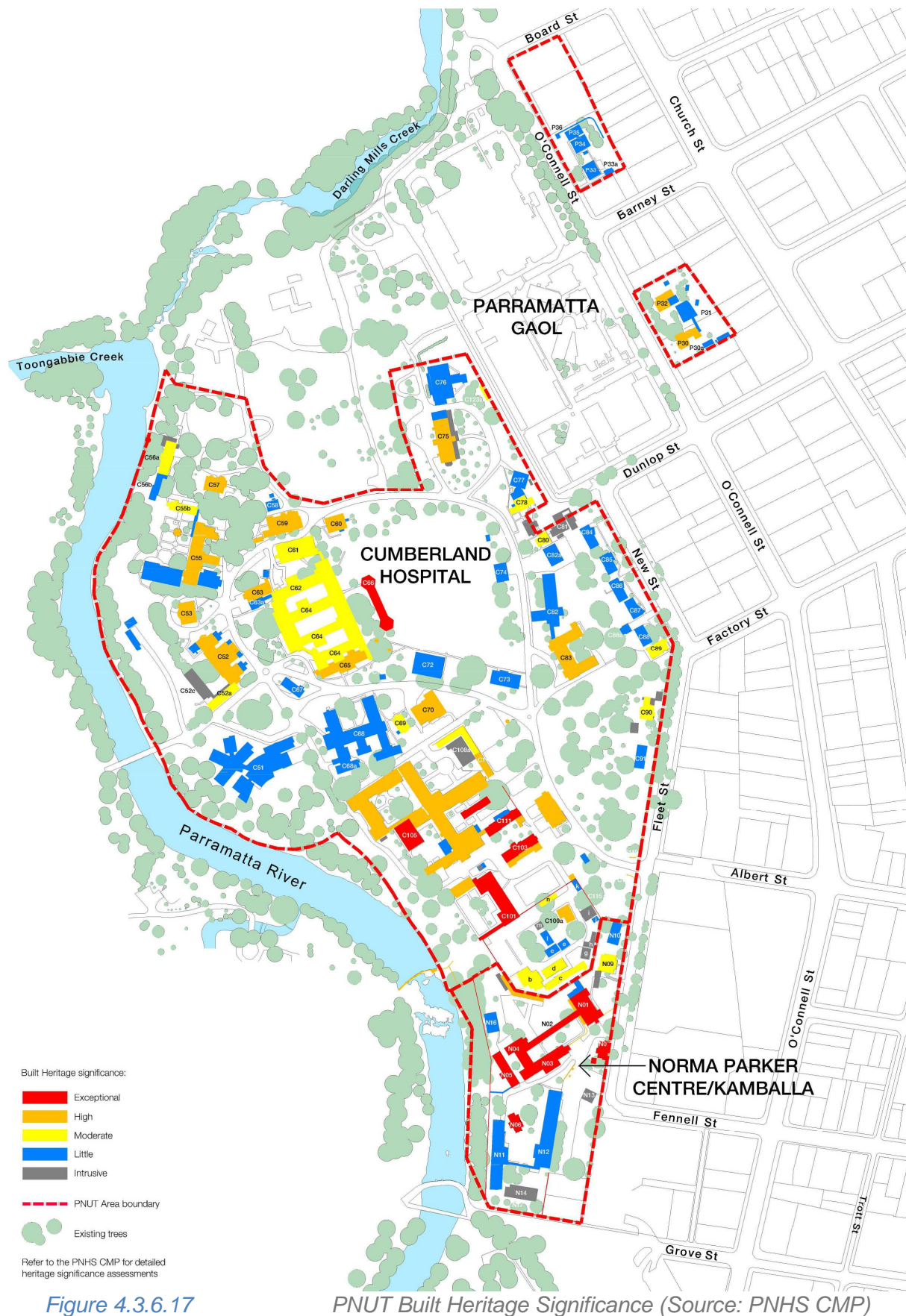
- there is no prudent or feasible alternative;
- demolition would result in no or minimal impacts, including cumulative impacts, on the heritage significance of the place or the wider PNHS; and
- demolition would be of overall benefit to the heritage significance of the place and the wider PNHS.

The development application is to include a report from a suitably qualified structural engineer if the demolition is proposed on the basis of poor structural condition.

Building and structures approved for demolition should be archivally recorded prior to any works.

A survey of all the building and structures proposed for demolition should be undertaken to identify any building materials that have potential for re-use in the repair of significant buildings or structures and / or that may be of interpretative value and should be considered for incorporation into the upgrading of the open space areas.

- C.5 Future development applications are to incorporate interpretation of the history and heritage significance of significant buildings and structures consistent with the requirements of the *PNHS Heritage Interpretation Strategy*.



Historical (non-Aboriginal) Archaeology

There is a substantial and significant archaeological resource within the PNUT. Archaeological investigations and assessment will be required to guide development in some areas and inform the management of specific elements of archaeology.

The *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)* has been prepared to guide development so that it avoids, minimises or mitigates impacts on significant archaeology. The *PNHS CMP* provides general archaeology management recommendations as well as more specific requirements for each of the development lots within the PNUT.

It is recommended that archaeology of State and potentially National heritage significance is managed and retained *in situ*, however any impacts or removal of objects will be subject to a merit-based assessment, taking into consideration the archaeological significance and intactness.

Objectives

- O.1 To ensure adequate protection and appropriate management of the significant archaeological resource within the PNUT.
- O.2 To ensure that archaeology of local, state and potential National significance is retained *in situ*, wherever possible, and be interpreted within new development.

Design Controls

- C.1 Excavation within the PNUT area is to be consistent with the requirements of the *PNHS CMP*. Further archaeological investigation and assessment may be required to inform future development on the PNUT.
- C.2 Prior to the commencement of any works involving excavation, any required applications for approval to undertake the works under the *Heritage Act 1977* are to be submitted to the Heritage Division, Office of Environment and Heritage.
- C.3 New developments must allow interpretation of relevant significant archaeological resources of the PNUT. The interpretation must be consistent with the requirements of the *PNUT Heritage Interpretation Strategy*.

Key Views, Landmarks and Axes

The PNUT as a site of historic significance includes many landmarks, view corridors, vistas and planning axes that must be considered in the renewal. These views and vistas include views within the PNUT, views from the PNUT and views to the PNUT, particularly from Parramatta Park.

Objectives

- O.1 To ensure significant views and vistas to, from and within the PNUT are protected and enhanced.
- O.2 To ensure new development has regard to the views and vistas relating to the location, siting and design of new development.

Design Principles

- P.1 Development within the PNUT is to protect and enhance the views, vistas and view axes identified in Figure 4.3.6.18 to 4.3.6.20.
- P.2 New services infrastructure must be located underground to avoid visual impacts on significant cultural landscape, in particular the curtilage and wider setting of significant buildings and structures, open space areas, cultural plantings and views.
- P.3 Development must respect and protect the important views from the World Heritage listed Old Government House and Domain Precinct as defined in the *Development in Parramatta City of the Impact on Old Government House and Domain's*, Planisphere 2012.

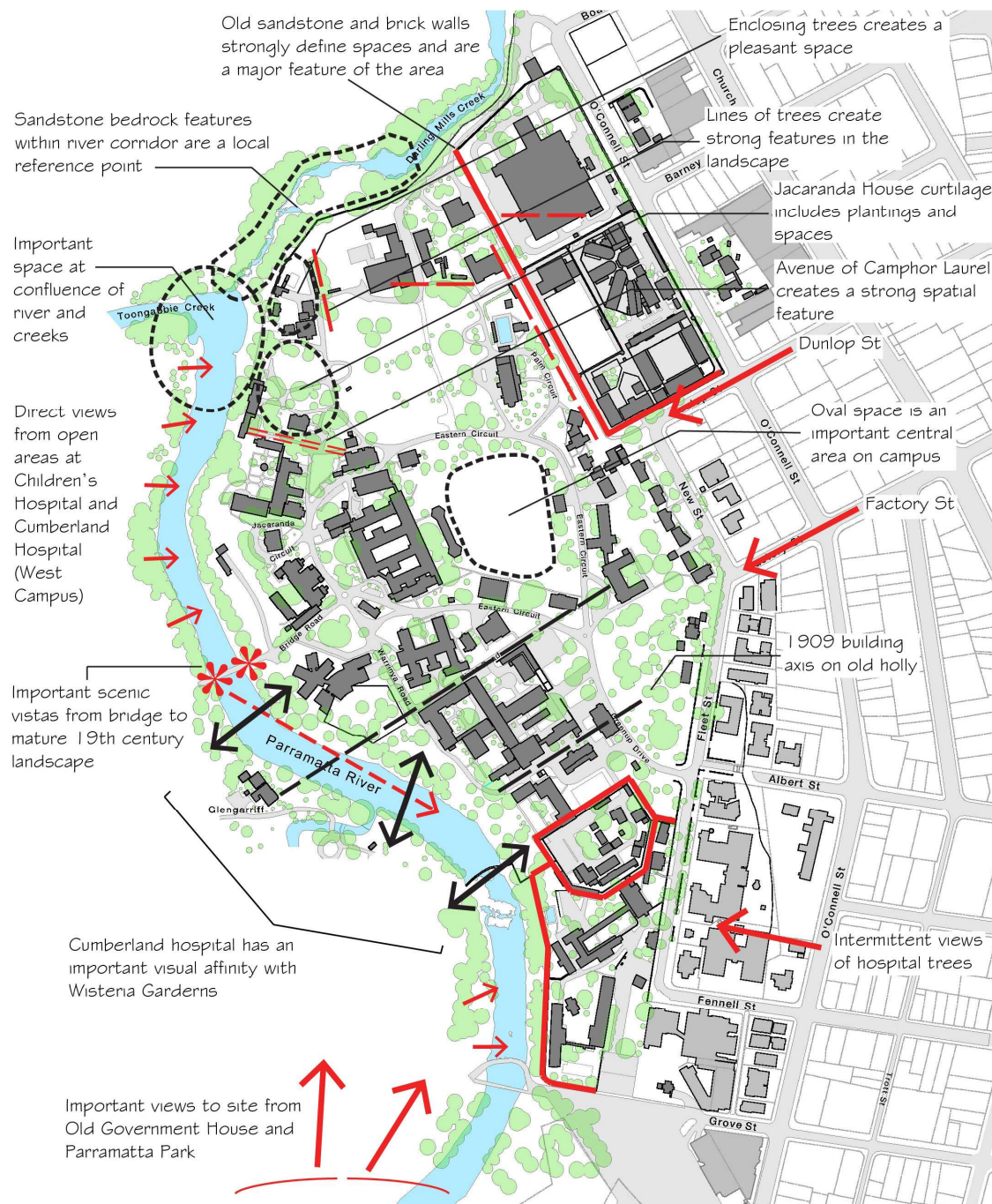


Figure 4.3.6.18

PNUT Key Views, Landmarks and View Axes (Source: PNHS CMP)

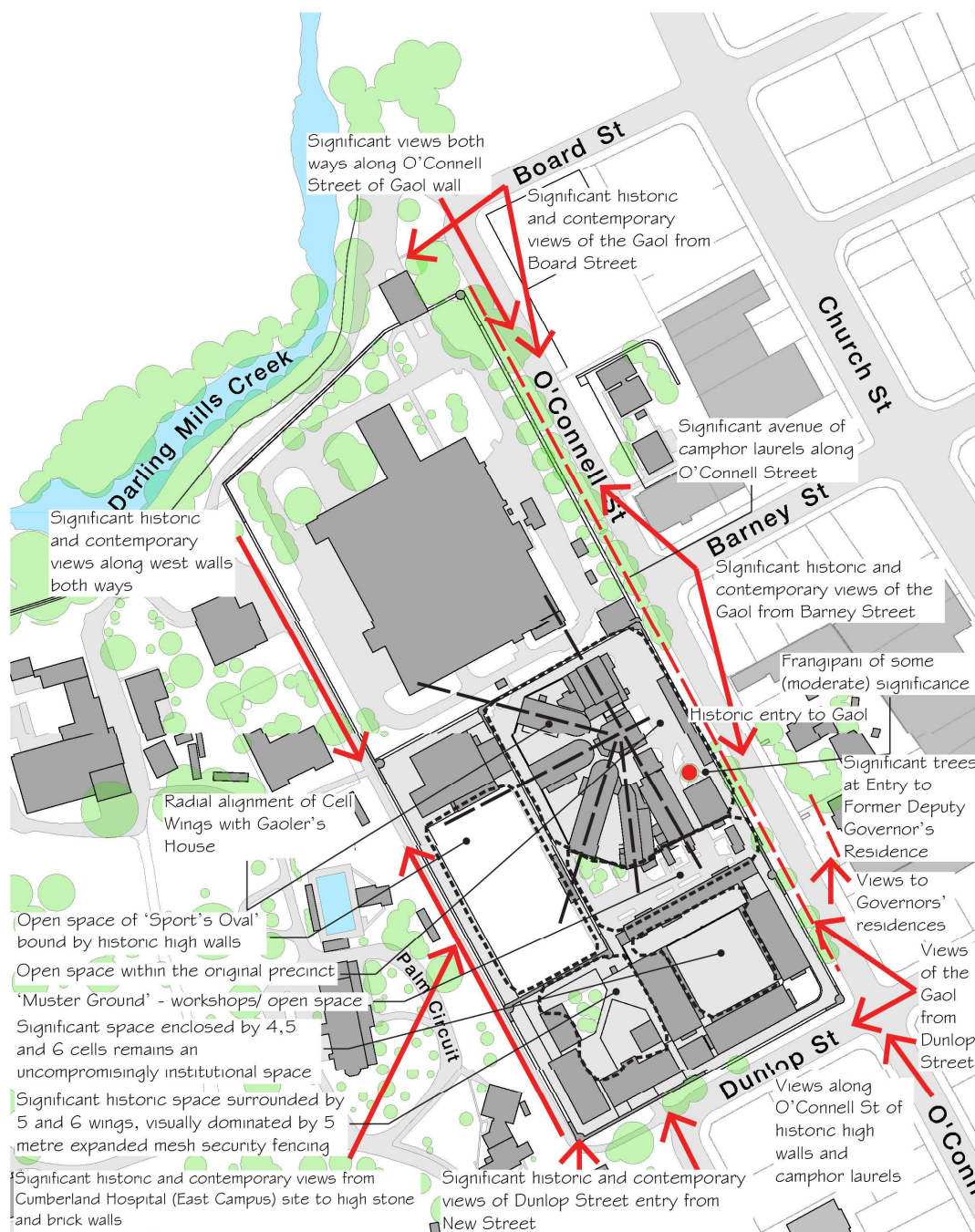


Figure 4.3.6.19

PNUT Key Views, Landmarks and View Axes (Source: PNHS CMP)

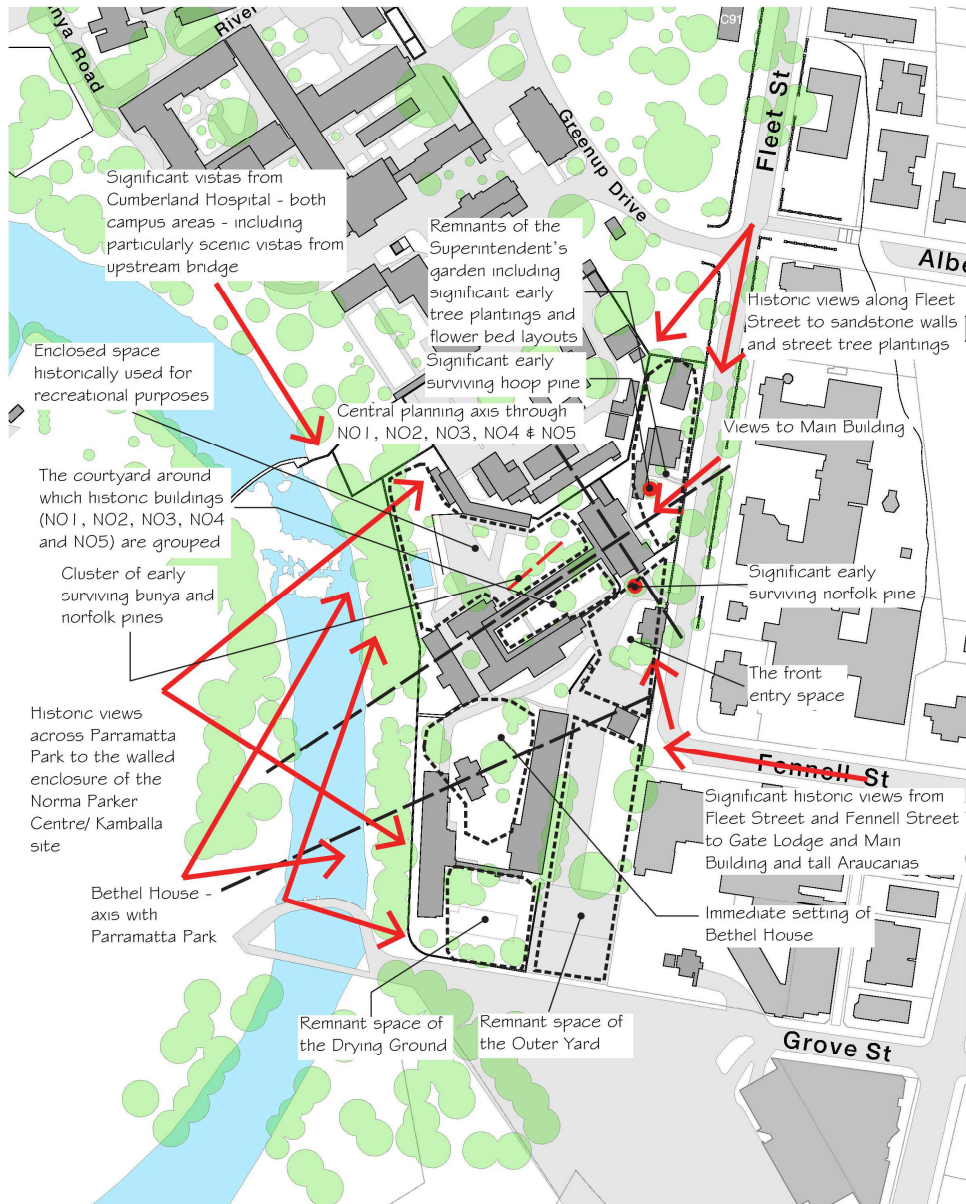


Figure 4.3.6.20

PNUT Key Views, Landmarks and View Axes (Source: PNHS CMP)

4.3.6.2 Development and Design

This section provides general development and design controls for future developments. The development and design controls relate to site landscaped area, building separation, building articulation, building location and floor plate sizes. These general controls are to be read in conjunction with the Development Lot Controls – Individual section of this DCP. The PNUT development lots are identified in Figure 4.3.6.23. Design guidelines for each of the development lots are provided at Figures 4.3.6.24 to Figure 4.3.6.43.

Where there is any inconsistency, the individual development lot controls will prevail over these general development and design controls.

Note: Development must comply with the controls set out below and any relevant controls in Parts 2 and 3 of the Parramatta DCP 2011. Where there is any inconsistency Part 4 will prevail.

Built Form and Massing

Design Objectives

- O.1 To ensure that high levels of residential amenity are achieved.
- O.2 To provide for appropriate separation of buildings to provide opportunities for solar access, natural ventilation, privacy control and provision of outlooks.
- O.3 To ensure new buildings respond to and respect the existing heritage buildings, structures and landscapes.
- O.3 To ensure development floor plate sizes and building footprints are not excessive.
- O.4 To provide adequate opportunities for landscaping.

Design Controls

- C.1 Each development lot identified at Figure 4.3.6.23 and where it may be possible, is to include landscaping to complement the landscaping provided in the public domain.
- C.2 Development lots that include residential accommodation, must provide deep soil landscape on all front, side and rear boundary setbacks as shown in the Individual Development Lot Figures.
- C.3 New buildings should not be longer than 45 metres in length.
- C.4 Where buildings can not demonstrate a maximum of 45 metres in length, building facades must be articulated 'breaks' in the building form.
- C.5 The maximum floorplates for tower buildings of more than 12 storeys is 850 square metres (gross building area).

Relationship between New Development & Existing Built Form

Design Principles

- P.1 The design, orientation and arrangement of built form and landscape elements is to capture river views, respect key axes, relationships to open spaces and enhance the setting of the cultural heritage.
- P.2 The design of new buildings must respect the scale, design and materials of the culturally significant buildings and structures within the PNHS sites. The siting of new buildings must recognise the heritage significance and values of the sites and must not intrude on important views and vistas across the site.
- P.3 The overall form and design of any new buildings must have regard to the palette of materials that already exist on-site. Architectural forms must be simple and direct, and new buildings must be of a high quality contemporary design.
- P.4 There should be a considered relationship between the existing environment (built and landscape) and new development through the appropriate use of materials, colour, built form and urban character.

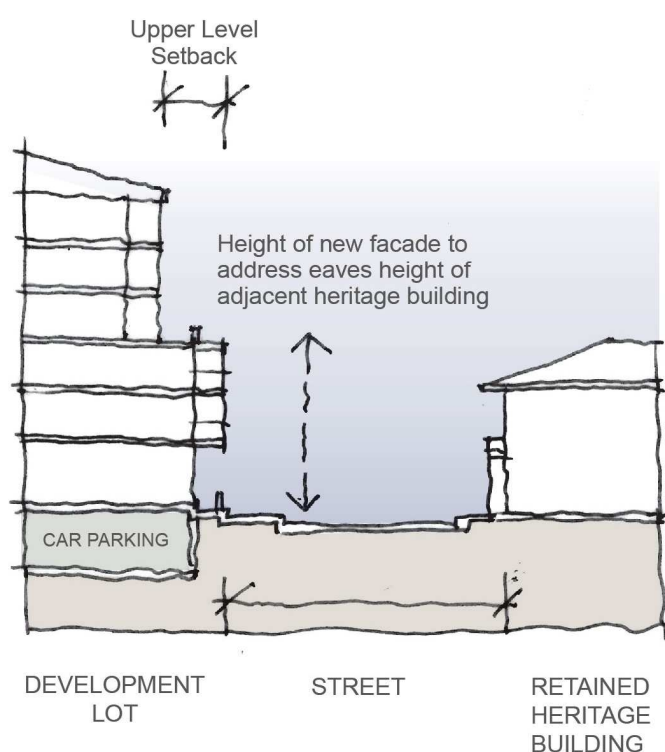


Figure 4.3.6.21

Relationship with heritage buildings

Design Controls

- C.6 Where new buildings are shown to have an important relationship with a retained heritage building, the new building's street wall heights must be reduced and upper level setbacks increased to address the height of the eaves of the retained heritage building and minimise potential visual impact, as demonstrated at Figure 4.3.6.21.

- C.7 The detailed design and articulation of facades must reflect the character of the site as comprising of a series of discrete buildings within a landscape setting.
- C.8 Where gable or hipped roofs are proposed, the angle of the pitch must be compatible with the adjacent heritage building.
- C.9 All new service elements such as aerials, vent pipes, hot water services, solar collectors or heating panels, plant equipment, air-conditioning units, telecommunications and satellite equipment and the like located on the building must be fully integrated in the design of the building and concealed from public view.

Important Corners

Design Principles

- P.5 Important corners require distinctive architectural treatment and must be articulated and expressed volumetrically, addressing both streets and façades. This can be created through emphasis, articulation, splayed treatments, use of materials/colour, height and/or other means.

Existing and New Vegetation

Design Principles

- P.6 Significant trees and landscape elements must be retained and incorporated in new development.
- P.7 New landscaping is to be consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)* and *PNUT Canopy Replenishment Strategy*.
- P.8 Developments are to consider and reflect the site's historic planting regimes and species in the layout and specification of future landscape designs.

Design Controls

- C.10 Development applications must be accompanied by a Landscape Plan which details vegetation and trees to be removed, retained and new plantings. An indicative plant schedule nominating species, number and size should be included.
- C.11 Removal of trees may be allowed subject to a merit based assessment of development alternatives and opportunities to replace significant trees with identical or comparable species to enhance the landscape character consistent with the *PNHS CMP* and the *PNUT Canopy Replenishment Strategy*.
- C.12 New developments must retain and conserve significant trees, and minimise the number of trees removed to facilitate new development. Removal of trees is allowed subject to due consideration of development alternatives and mitigation strategies.
- C.14 Significant tree plantings identified for retention are to be managed in accordance with best-practice maintenance requirements and the staged replacement of the trees and the *PNUT Canopy Replenishment Strategy*.

Important Interface with Public Open Space

Design Principles

- P.9 Where buildings have an important relationship with public open space, ensure they address the public open spaces to achieve good passive surveillance, high quality presentation, active open spaces and maximise visual connections. Direct pedestrian and visual connections between buildings (including retained heritage buildings) and open space areas are to be encouraged.
- P.10 Where private open space is located adjacent to public open space or the public domain, appropriate edge treatments are to be provided to maintain a clear hierarchy of spatial separation, whilst also achieving design integration.
- P.11 Where private open space forms part of the curtilage and landscape setting of a heritage building, any landscape treatment, such as planting, structures or fencing must be designed and located to respect the significance of the building a minimise heritage and visual impacts in accordance with the *PNHS CMP*.
- P.12 Development shall respect and contribute to the open landscape and park-like character of the precinct
- P.13 Walls and fences must contribute to visual amenity and provide safety / security to residents. The design of these elements must positively contribute to the public domain and be in keeping with the historic character of retained building and the landscape.
- P.14 Fencing and boundary delineation must be integrated with the building and landscape design through the use of compatible materials and detailing.

Design Controls

- C.15 Development must demonstrate a careful selection of appropriate materials for boundary treatments. Brick, sandstone, rendered masonry low walling, transparent or semi-transparent fencing with soft landscape elements should be considered. No replica fence types, sheet metal or wire fencing shall be used. Landscaping is encouraged where there are changes in level.
- C.16 Raised walls or terraces to streets should be softened by the use of planters.
- C.17 Fencing around heritage buildings should not obstruct or detract from the principal views of the building.

Street Walls and Podiums

Design Principle

- P.15 Street walls of new developments are to present a human scale urban edge to the public domain and ensure consistent scale across separate development lots.

Design Controls

- C.18 Where towers are required to be setback from podiums, they must be differentiated by a change of material and/or architectural wall expression.

- C.19 The maximum podium height is 6 storeys. Above the podium a minimum 3 metre setback is required as shown in Figure 4.3.6.22.
- C.20 Where the proposed building interfaces with a heritage building or existing urban development, a lower street wall height is required (refer to Figure 4.3.6.21 – Relationship to Heritage Building).

Setbacks

Design Controls

- C.21 Setbacks between new developments and to heritage buildings must be sympathetically treated and be free of and not compromised through provision of services and structures, such as substations, air conditioning units and hydrants.
- C.22 Building and tower setbacks are not to be overhung by significant built form and be consistent with the design principles and controls set out in each of the Individual Development Lot controls.
- C.23 A minimum street level building alignment setback of 3 metres is required for buildings with a residential ground floor use as shown in Figure 4.3.6.22, unless otherwise specified on the Development Lot Control – Individual section of this DCP.
- C.24 A 0 metre lot street building alignment setback is permissible for buildings with a commercial, retail or main street frontage, unless otherwise specified on the Development Lot Control – Individual section of this DCP.
- C.25 Ground floor apartments must have individual access from the public domain or through site links. New ground floor apartments to be elevated above street level (maximum 900mm) to allow for privacy, transition and basement parking partial ventilation, where setback from street.
- C.26 Podium and tower levels must provide a mix of private courtyards, communal landscaped open space and resident amenities.

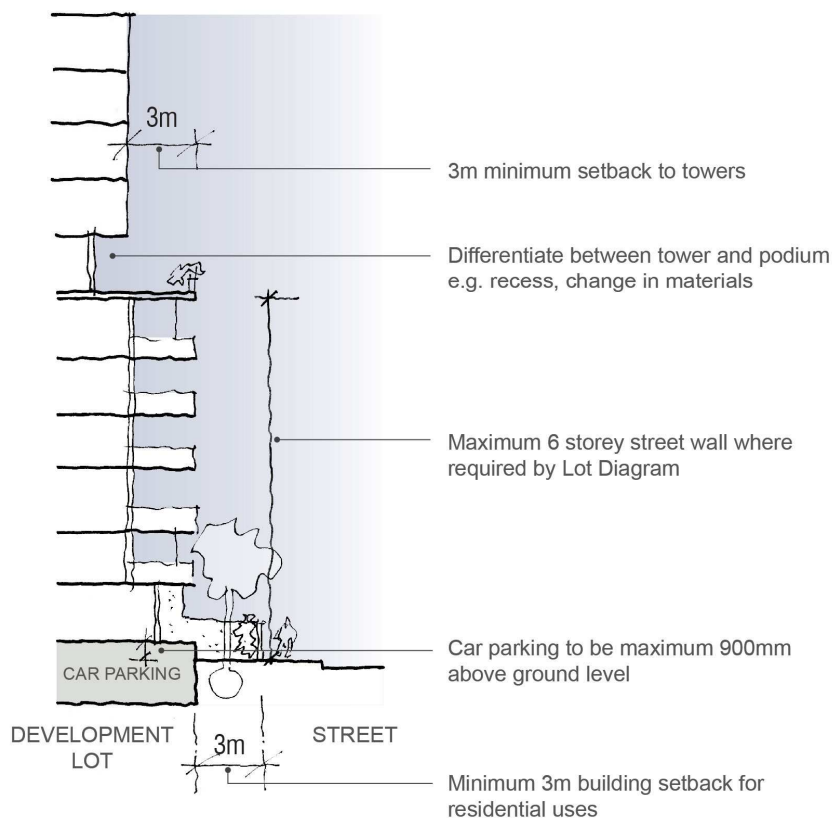


Figure 4.3.6.22

Street wall heights and tower setbacks

Through site links

Design Principles

- P.16 Through site links are to provide pedestrian permeability through large sites as shown at Figure 4.3.6.5.
- P.17 Through site links must be generously sized, have direct connections, and include allowance for significant landscaping.
- P.18 Through site links are to incorporate active ground floor uses such as residential building entries, community and/or retail uses.
- P.19 Through site links are to be at natural ground level and be fully open to the sky with no building elements above.
- P.20 Through site links are to be accessible to the public at all times.
- P.21 The required through site links have been identified where necessary in the detailed Development Lot Controls in this DCP.
- P.22 Through site links to be dedicated to the City of Parramatta Council are not to be located over a basement.
- P.23 Additional through site links can be provided through detailed design development if required.

External Materials

Design Principles

- P.24 The site requires a limited materials and colour palette to achieve a cohesive built form related to the retained historic built legacy, which includes an established tradition of building in sandstone and red brick.
- P.25 Materials must be selected that contribute to the building's sustainability performance, thermal comfort for internal users and the public domain and durability.
- P.26 For ground plane or podium levels opposite or adjacent to heritage buildings, materials must be selected to consider the visual characteristics and significance of the heritage buildings. Reference must be made to the *PNHS CMP*.

Design Controls

- C.27 A sample board showing colours and finishes must be submitted as part of any development application.
- C.28 The colour of external facades of the ground plane or podium levels is to be predominantly sandstone and/or mid-to-darker red / earth tones. Lighter sandstone / beige / grey on rendered or painted lightweight areas may be used to articulate the façade. Accent colours may be used on incidental or detailed elements such as sunshades, blade walls, shutters etc.
- C.29 Highly coloured, reflective or white facades are not appropriate materials and must not be approved.
- C.30 Precast concrete is not to be used as the primary façade material unless there is acceptable articulation, surface treatment, and integration with other architectural elements.

Street Addresses

Design Principles

- P.27 All new buildings and reused heritage buildings must demonstrate clear and logical public street addresses. Development must provide simple and clear public entries to all buildings for pedestrians.
- P.28 Careful consideration is to be given to the proposed location of letter boxes, entry signage and garbage collection points to ensure clear and logical locations whilst minimising the adverse visual impact on the public domain and any adjacent heritage buildings or structures.

Design Control

- C.31 Garbage collection points must be located, wherever achievable, in basement carparks.

Traffic and Transport

Objectives

- O.1 To encourage walking, cycling and public transport use in order to reduce the number of motor vehicles travelling through and to the site and to create a high quality pedestrian environment.
- O.2 To encourage the use of the public transport and bicycles as an environmentally sensitive alternative to the use of private motor vehicles.

Preferred lot and parking access

Principles

- P.1 Vehicular and pedestrian access points shown on the Individual Lot Figures 4.3.6.24 to 4.3.6.43 are preferred. Alternative locations related to detailed design proposals will be considered on traffic and urban design grounds.

Potential at-grade and above-ground parking

Principles

- P.2 Where for heritage reasons, basement car parking is not provided, at-grade parking may be permitted subject to an assessment of visual impact.

Car Parking and Bicycle Parking

Principles

- P.3 Future development proposals must aim to maximise the use of sustainable and active transport by residents and visitors.

Controls

- C.1 Future developments are to minimise car parking provision and demonstrate the inclusion of transport alternatives or strategies to discourage private motor vehicle use.
- C.2 If development includes a car parking space in connection with a residential dwelling, the development must provide no more than the number of car parking spaces specified in Table 4.3.6.2.1 below.

Dwelling type	Number of parking spaces
1 Bed/ Studio	0.6 spaces
2 Bed	0.9 spaces
3+Bed	1.4 spaces
Visitor spaces	1 space per 5 dwellings

Table 4.3.6.2.1 Residential car parking requirements

- C.3 Development must provide a minimum number of bicycle parking spaces specified in Table 4.3.6.2.2 below.

Development Type	Bicycle Spaces
Residential	1 per 1 dwellings
Residential – Visitor	1 space per 10 dwellings
Commercial	1 per 200m ² GFA
Retail	1 per 200m ² GFA

Table 4.3.6.2.2 Bicycle Parking

- C.4 A minimum of 1 space is to be allocated to car share for developments with 50 or more dwellings. If agreement with a car share provider is not obtained then the car share space is to be used for additional visitor parking until such time as a car share provider agreement is obtained.
- C.5 Driveways and access must demonstrate compliance with AS2890.1:2004 and AS2890.2:2002.

Basement Car Parking

Principles

- P.4 Basement parking must be limited to the footprint of buildings to maximise opportunities for deep soil planting within the public domain, forecourts and courtyards for canopy tree planting.
- P.5 Basement car parking under heritage buildings must be avoided.

Design Controls

- C.6 Basement car parking is to be contained wholly within the building footprint.
- C.7 Vehicular access points must be located away from heritage buildings and features, prominent corners and public open spaces.
- C.8 Proposed share zones and speed limits are to be consistent with the guidelines and provisions of the NSW Roads and Maritime Services requirements, subject to site-specific design requirements and heritage considerations.

Other car parking and bicycle provisions are contained in Part 3 of this DCP.

Development Lot Controls – Individual

This section sets out the objectives, principles and design controls for all individual development lots including setbacks, maximum height, important corners, relationship to heritage buildings and open space, tree retentions, cross-site links and preferred vehicle and pedestrian access locations.

Development within each Development Lot is to be consistent with the principles, policies and guidelines contained within the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)* including the Part C Lot-Specific Guidelines. It is noted that the PNHS CMP does not apply to Lots A3, H1-H5.



Figure 4.3.6.23. Precinct division and development lot identification plan

Lot A1

Design Objectives

- O.1 Development is to integrate with existing adjoining urban development.
- O.2 Development is to respond to views to the historic walls of Parramatta Gaol.

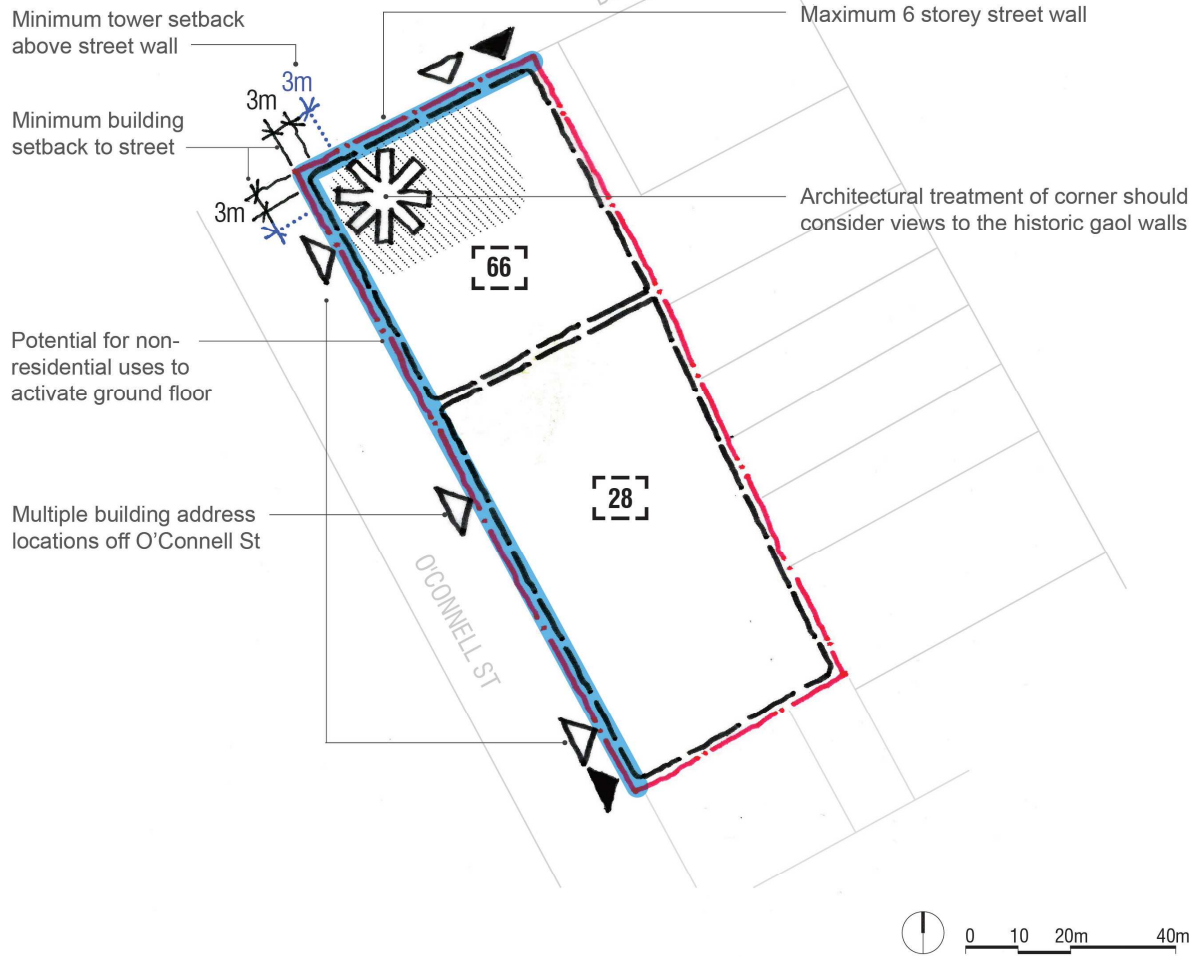
Design Principles

- P.1 The built form must positively address the O'Connell / Board Streets corner and step down in scale towards the Parramatta Gaol site. There is potential to activate the ground floor with non-residential uses particularly at the corner location (refer Figure 4.3.6.24).
- P.2 New buildings must provide building setbacks which respond to existing building setbacks and provide adequate transition to existing built forms.
- P.3 Any taller built form must be located in the north western corner (corner of Board Street and O'Connell Street) to minimise potential impacts on surrounding development.
- P.4 Basement parking may extend beyond the building footprint subject to an assessment of the landscape impacts and demonstration that areas available for deep soil planting are maximised wherever possible.

Design Controls

- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.24.
- C.2 New buildings to provide a maximum 6 storey street wall height where fronting Board Street and O'Connell Street.
- C.3 New buildings to provide a minimum 3 metre building setback to Board Street and O'Connell Street.

LOT A1



LOT IDENTIFICATION PLAN

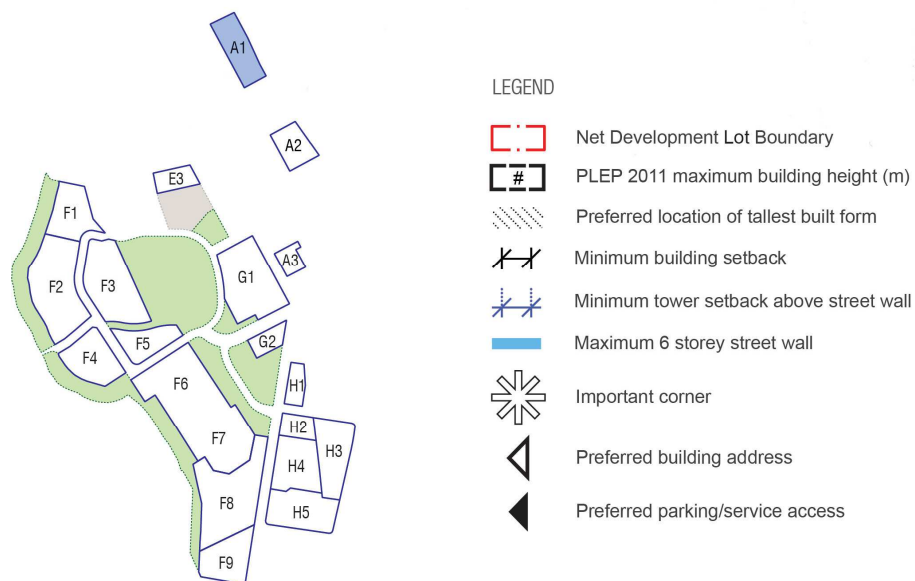


Figure 4.3.6.24. Development Lot A1

Lot A2

Design Objectives

- O.1 The former Governor's and Deputy Governor's Residences (Buildings P30 and P32) and their landscape setting must be conserved and adapted consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan* (PNHS CMP).
- O.2 Development is to integrate positively with the former Governor's and Deputy Governor's Residences (Buildings P30 and P32) and their landscape setting consistent with the *PNHS CMP*.

Design Principles

- P.1 The former Governor's and Deputy Governor's Residences (Buildings P30 and P32) and their landscape setting must be conserved and adapted as an integral part of the development of Lot A2 consistent with the PNHS CMP.
- P.2 New development must be consistent with the requirements of the PNHS CMP and best practice guidelines including *Design in Context 2005*, to respect the heritage buildings, to provide a considered transition and connection to the existing buildings, and be sympathetic in scale, form and the use of materials.
- P.3 New development on Lot A2 must be of an architectural design and character that respects the former Governor's Residence and Deputy Governor's Residence when viewed from O'Connell Street and allows them to continue to be read as discrete buildings.
- P.4 New development on Lot A2 must be located to the rear of the heritage buildings and address the open space between the two buildings.
- P.5 The built form of the new development must step down in height between the two heritage buildings to the central open space area.
- P.6 The main pedestrian access to the new building must be through the central front courtyard space.

Design Controls

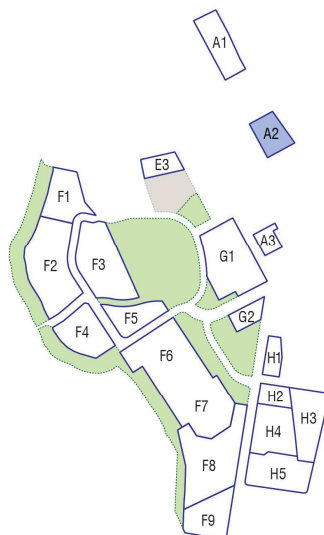
- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.25.
- C.2 New development is to provide a minimum 6 metre side boundary setback and demonstrate that the proposed built form satisfactorily addresses the scale of adjacent development.
- C.3 New development is to provide a minimum building setback of 6 metres from Buildings P30 and P32.
- C.4 New development located between Buildings P30 and P32 must respond in height and proportion to these significant heritage buildings.
- C.5 No structures shall be located in the area of open landscape in front of buildings P30 and P32.

- C.6 Driveway access to the on site car parking must utilise the existing driveway access. Opportunities to minimise the driveway widths shall be considered.
- C.7 Basement car parking must not adversely impact significant vegetation, and any at grade car parking must be located to the rear of Buildings P30 and P32 as shown in Figure 4.3.6.25.

LOT A2



LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot Boundary
- Built heritage elements to be retained:
P30: Former Deputy-Governor's Residence
P32: Former Governor's Residence
- Curtilage to heritage buildings - refer to PNHS CMP for heritage opportunities and constraints
- Existing trees to be retained where practicable
- # PLEP 2011 maximum building height (m)
- Minimum building setback
- Preferred building address
- Preferred parking/service access
- Important relationship to heritage building

Figure 4.3.6.25. Development Lot A2

Lot A3

Design Objectives

- O.1 Development is to integrate with the form and scale of surrounding development.
- O.2 Development is to transition to the adjoining urban development.

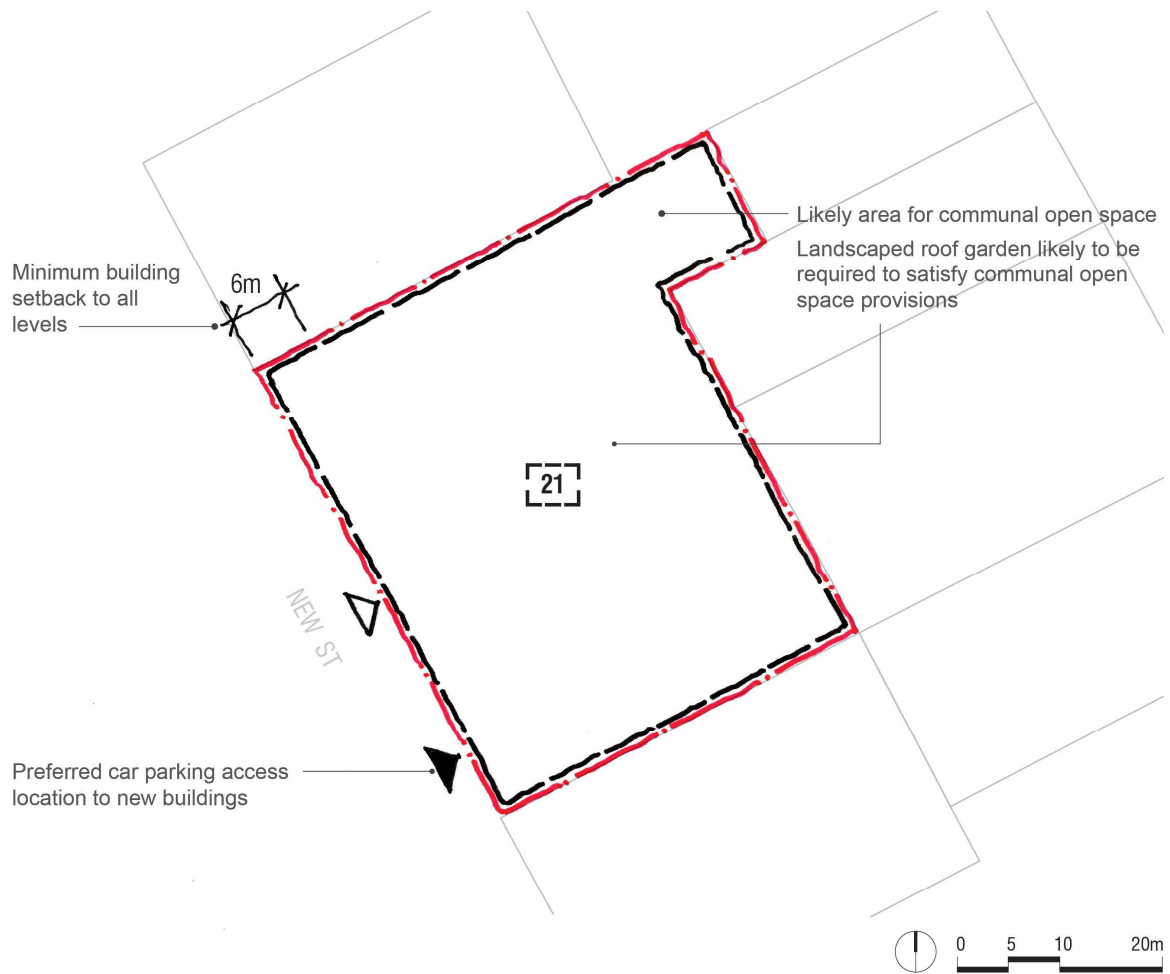
Design Principles

- P.1 New development must provide building setbacks which respond to the adjacent existing built form.
- P.2 New development must provide a landscaped front setback to enhance the amenity of the New Street streetscape.

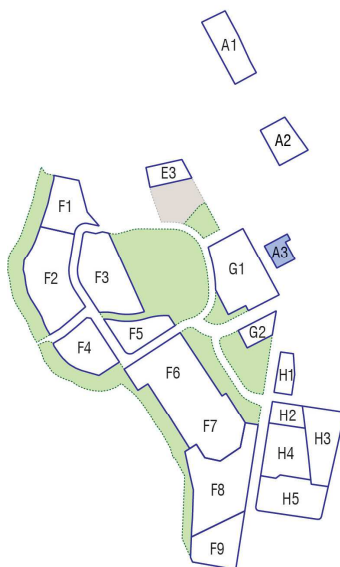
Design Controls

- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.26.
- C.2 A 6 metre building setback is required to New Street to reinforce existing building setbacks in the street.

LOT A3



LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot Boundary
- # PLEP 2011 Maximum Building Height (m)
- Preferred building address
- Preferred parking/service access
- Minimum building setback

Figure 4.3.6.26. Development Lot A3

Lot E3

Design Objectives

- O.1 The Recreation Hall (Building C75) and its landscape setting must be conserved and adapted consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*.
- O.2 Development must respect the setting and curtilage of the significant Recreation Hall (Building C75) consistent with the *PNHS CMP*.
- O.3 Development must not compromise the community access and future use of the Recreation Hall.

Design Principles

- P.1 New development must respect the heritage significance and landscape setting of the Recreation Hall and Parramatta Gaol walls consistent with the *PNHS CMP*.
- P.2 New development must provide building setbacks which respond to the context and provide adequate transition to existing built form.
- P.3 New development within E3 must be of an architectural design and character that respects the Recreation Hall (Building C75) and its curtilage and Parramatta Gaol.
- P.4 The built form of the new development must respond to the heights of the adjacent to the Recreation Hall (Building C75) and Parramatta Gaol.
- P.5 New development must respond to and interpret the archaeological remains (if any) of the Mill Race.
- P.6 New development must make provision to utilise the future vehicular access routes which may service the potential development of lands to the north and west of the development lot.

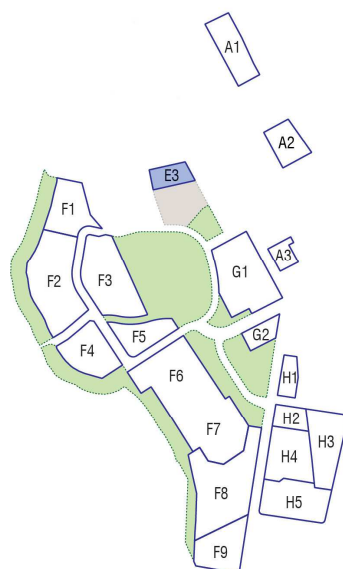
Design Controls

- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.27.
- C.2 Building height is to reduce to the southern and eastern elevation to respond to the relationship with the Recreation Hall and Parramatta Gaol.
- C.3 The permanent address and long term road access for new development is to be provided through future public road access to the site from the north.
- C.4 If development occurs prior to the delivery of future public roads on land to the north, temporary road access arrangements will be required to be provided on the existing driveway access west of the Recreation Hall. Temporary road access should not adversely impact on existing heritage structures or buildings.
- C.5 Development shall retain significant trees on the site as identified in Figure 4.3.6.27.
- C.6 New development to provide a minimum setback of 15 metres from the northern elevation of the Recreation Hall (Building C75)
- C.7 New structures must not be located in the area between Eastern Circuit (north) and Recreation Hall (Building C75).

LOT E3



LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot Boundary
- Built heritage elements to be retained
C75: Recreation Hall and Chapel (former Amusement Hall)
- # PLEP 2011 maximum building height (m)
- Curtilage to heritage buildings - refer to PNHS CMP for heritage opportunities and constraints
- Minimum building setback to heritage building
- Existing trees to be retained where practicable
- Preferred building address
- Preferred parking/service access
- Important relationship to heritage building
- Significant Views

Figure 4.3.6.27. Development Lot E3

Lot F1

Design Objectives

- O.1 Jacaranda House (Building C57) and its landscape setting must be conserved and adapted consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*.
- O.2 Development must be undertaken consistent with the *PNHS CMP* requirements for Jacaranda House (Building C57).
- O.3 Development is to accommodate public access from Eastern Circuit West to the Riparian Corridor.
- O.4 Development is to enhance the visual, pedestrian and landscape interface with the Riparian Corridor.

Design Principles

- P.1. Jacaranda House (Building C57) and its landscaped setting must be conserved and adapted as an integral part of the development of Lot F1.
- P.2. New development must respect the heritage significance and landscape setting of Jacaranda House (Building 57).
- P.3 New development within F1 must be of an architectural design and character that respects the heritage significance and landscape setting of Jacaranda House (Building C57).
- P.4 New development must be located to the northern and western boundaries with any taller built form located on the north eastern corner to minimise overshadowing Jacaranda House and the landscaped forecourt.
- P.5 New development must provide building setbacks which respond to the context and provide adequate transition to existing built form.
- P.6 New development must respond to its prominent location on the Parramatta River foreshore and maximise the provision of pedestrian links between Lot F1 and the river corridor.
- P.7 New development must provide generous landscaped courtyards within the setback zone abutting the river corridor with direct pedestrian access to O/S1.
- P.8 New development must respond to the archaeological remains (if any) of Marsden's Mill.
- P.9 New development in F1 must be designed to minimise impact on the significant view from Governor Phillip's landing place at the confluence of Darling Mills Creek, Toongabbie Creek and the Parramatta River.
- P.10 New development in F1 must be designed to allow for retention of the avenue of trees.

Design Controls

- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.29.
- C.2 New development shall provide a minimum 12 metre setback from the western building edge of Building C57. This setback shall be kept clear and not be compromised through the provision of services and structures.
- C.3 New development shall provide a minimum of 6 metres setback to the shared access way on the southern boundary.
- C.4 A minimum 3 metre landscaped setback is to be provided to the Riparian Corridor as shown on Figure 4.3.6.28 and 4.3.6.29.
- C.5 The built form of the new development must step down in height in response to Jacaranda House (Building C57).
- C.6 The design for new buildings in F1 must include clear and legible pedestrian and servicing access.

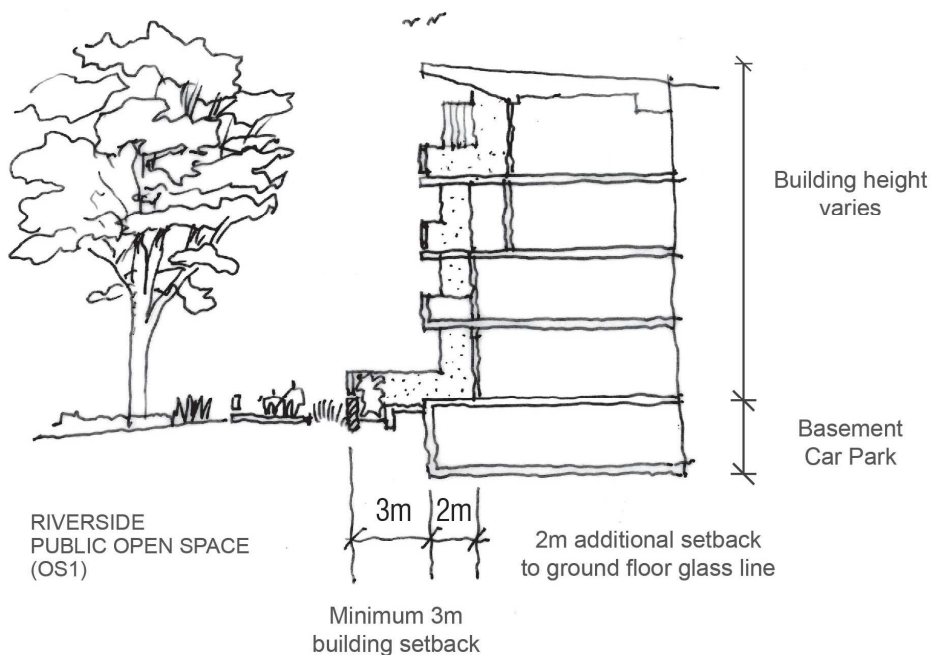
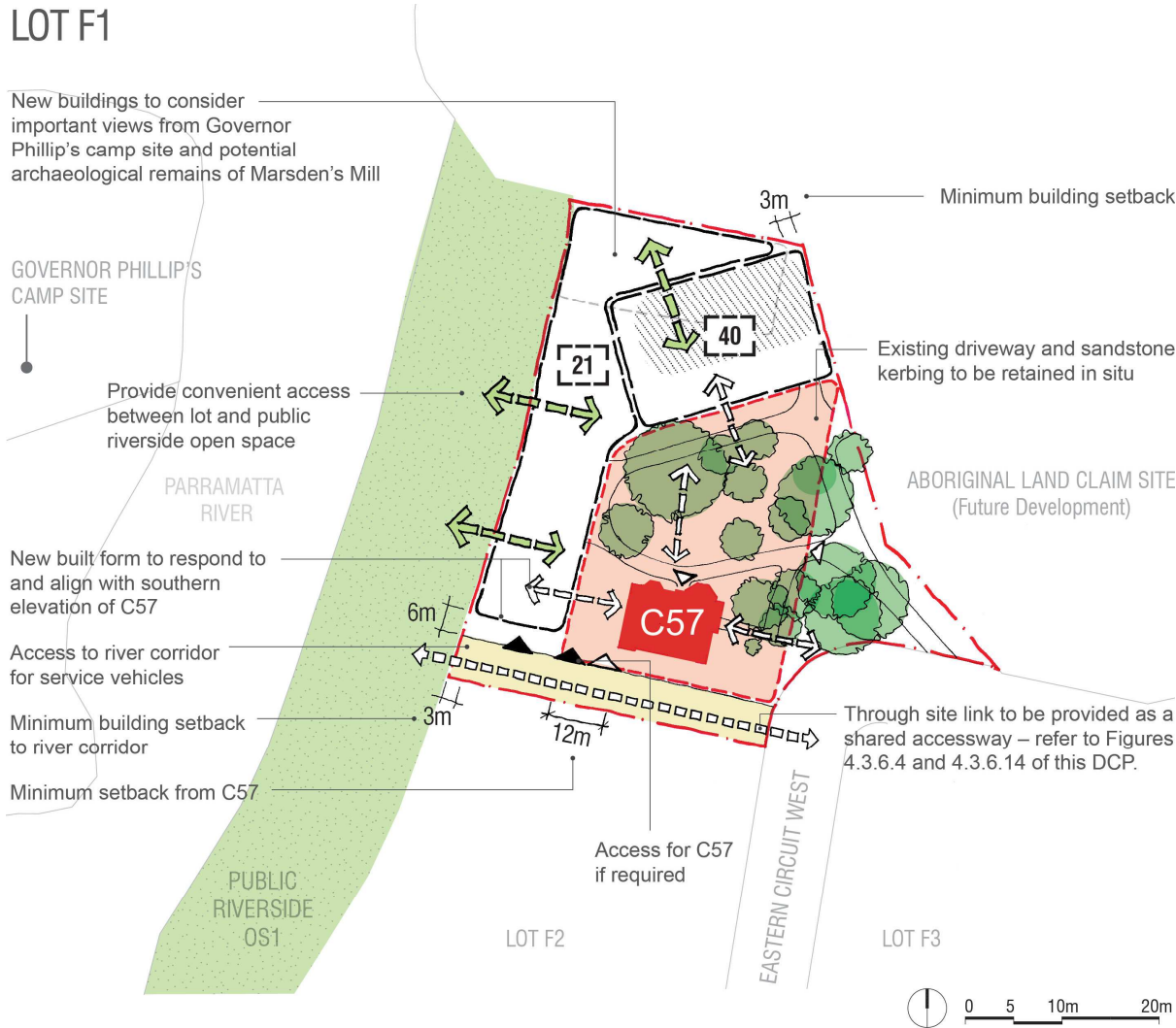


Figure 4.3.6.28. Typical Riverside Section

LOT F1



LOT IDENTIFICATION PLAN

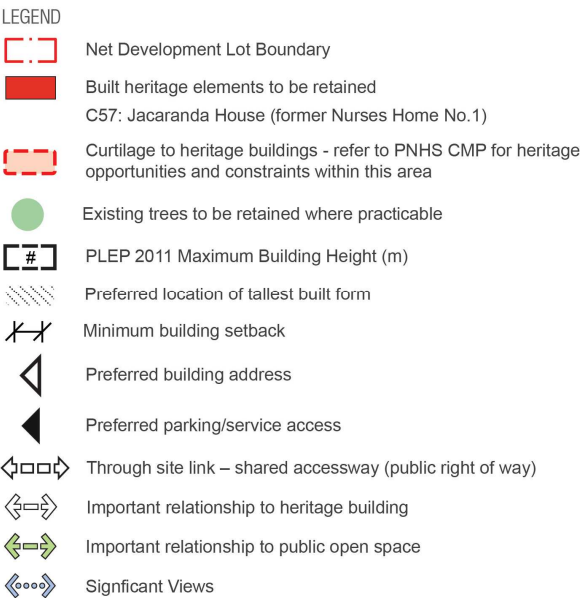
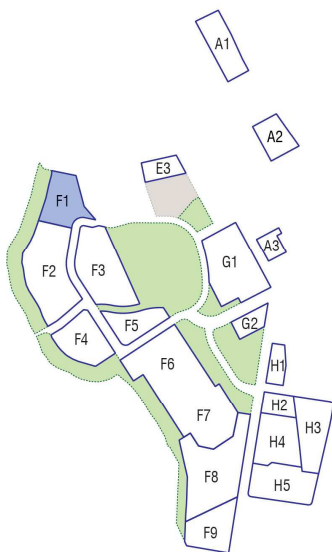


Figure 4.3.6.29. Development Lot F1

Lot F2

Design Objectives

- O.1 The former Male and Female Admissions Wards and the former Administration Block (Buildings C52, C53 and C55) and their landscape settings must be conserved and adapted consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*.
- O.2 Development is to be undertaken consistent with the *PNHS CMP* requirements for the former Male and Female Admissions Wards and the former Administration Block (Buildings C52, C53 and C55)
- O.3 New development must retain the visual connections and respect the views, context and relationships between the heritage buildings (Buildings C52, C53 and C55) the river and associated riparian corridor, and the PNUT.

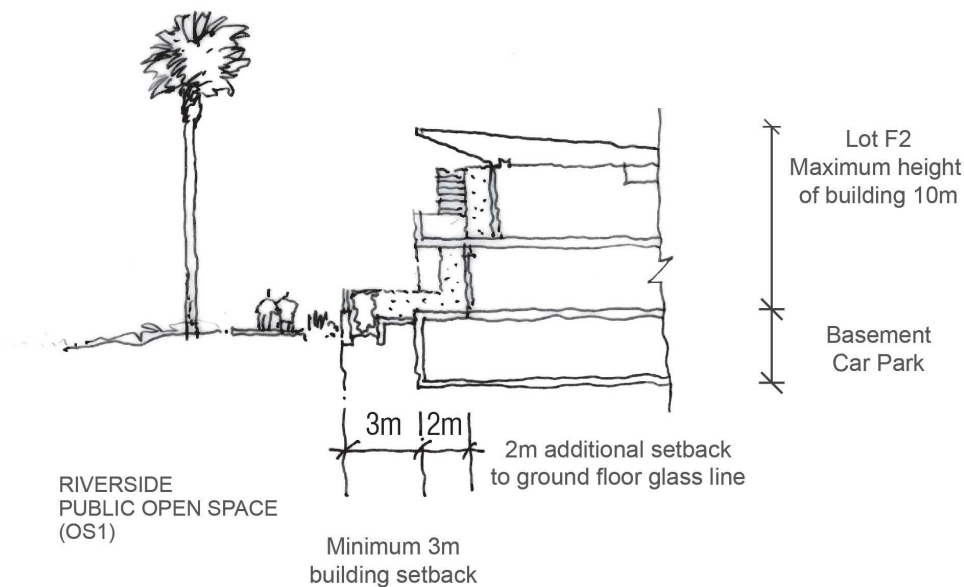


Figure 4.3.6.30. Typical Riverside Section

Design Principles

- P.1 The former Male and Female Admissions Wards and the former Administration Block (Buildings C52, C53 and C55) and their landscape settings must be conserved and adapted as an integral part of the development of Lot F2, consistent with the *PNHS CMP*.
- P.2 New development must be consistent with the requirements of the *PNHS CMP* and best practice guidelines including *Design in Context 2005*, to respect the heritage buildings, to provide a considered transition and connection to the existing buildings, and be sympathetic in scale, form and the use of materials.

- P.3 New development must be consistent with the requirements of the *PNHS CMP*, be designed as 'pavilions' to respect the heritage buildings and be sympathetic in scale, form and the use of materials.
- P.4 New buildings must be sited to address the adjacent public open space and pedestrian through-site links.
- P.5 New development must provide generous landscaped ground level courtyards opening onto the Riverside corridor.
- P.6 The design for new buildings in F2 must include clear and legible pedestrian and servicing access from adjacent streets.

Design Controls

- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.31.
- C.2 New development is to provide a minimum building setback of 6 metres from Buildings C52 and C55.
- C.3 A minimum 3 metre landscaped setback to the Riparian Corridor is to be provided, and a recessed 2 metre setback is to be provided to the ground floor glazing line as shown in Figure 4.3.6.30.
- C.4 The width of the new pavilion style buildings must not exceed the dimensions shown in Figure 4.3.6.31.
- C.5 New development must allow two pedestrian through-site links as indicated on Figure 4.3.6.31.
- C.6 No new structures are permitted in the courtyard areas to the west of C52, C53 and C55.

LOT F2

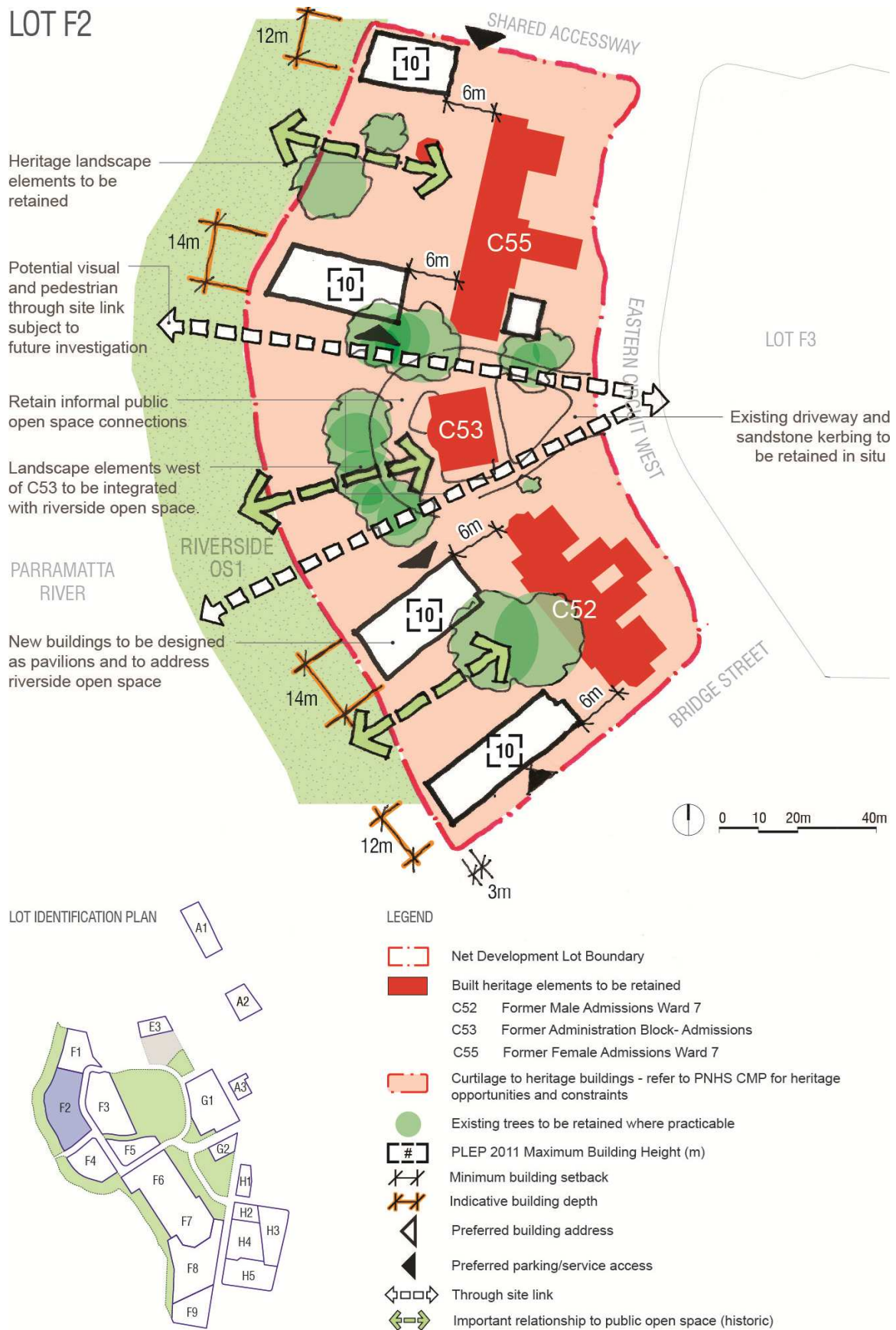


Figure 4.3.6.31.

Development lot F2

Lot F3

Design Objectives

- O.1 The former Female Asylum Kitchen Block and shelter shed and the former Male Asylum Hospital and Kitchen (Buildings C59, C59a, C63 and C65) and their landscape settings must be conserved and adapted consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*.
- O.2 Development must be consistent with the *PNHS CMP* requirements for former Female Asylum Kitchen Block and shelter shed and the former Male Asylum Hospital and Kitchen (Buildings C59, C59a, C63 and C65) and their landscape settings.
- O.3 Development must address the open space to the east and the street (Eastern Circuit West) to the west.
- O.4 Development must accommodate east west through site pedestrian links to connect Open Space 3, Lot F2 and the Riparian Corridor.

Design Principles

- P.1 The former Female Asylum Kitchen Block and shelter shed and the former Male Asylum Hospital and Kitchen (Buildings C59, C59a, C63 and C65) and their landscape settings must be conserved and adapted as an integral part of the development of Lot F3.
- P.2 New development within F3 must be of an architectural design and character that respects the heritage significance and landscape setting of the heritage buildings (Buildings C59, C59a, C63 and C65).
- P.3 New development must provide building setbacks which respond to the context and provide adequate transition to existing built form.
- P.4 The built form of the new development should step down in height adjacent to the heritage buildings (Buildings C59, C59a, C63 and C65).
- P.5 Any taller built form should be located in the eastern portion of the lot to minimise solar access impacts to the public domain.
- P.6 New development must provide an articulated edge and an activated and pedestrianised relationship between the eastern edge of Lot F3 and adjoining open space and Cricket Pavilion (Building C66) consistent with Figure 4.3.6.32.
- P.7 Development must include visual connections to the open space on the western edge of Lot F3.

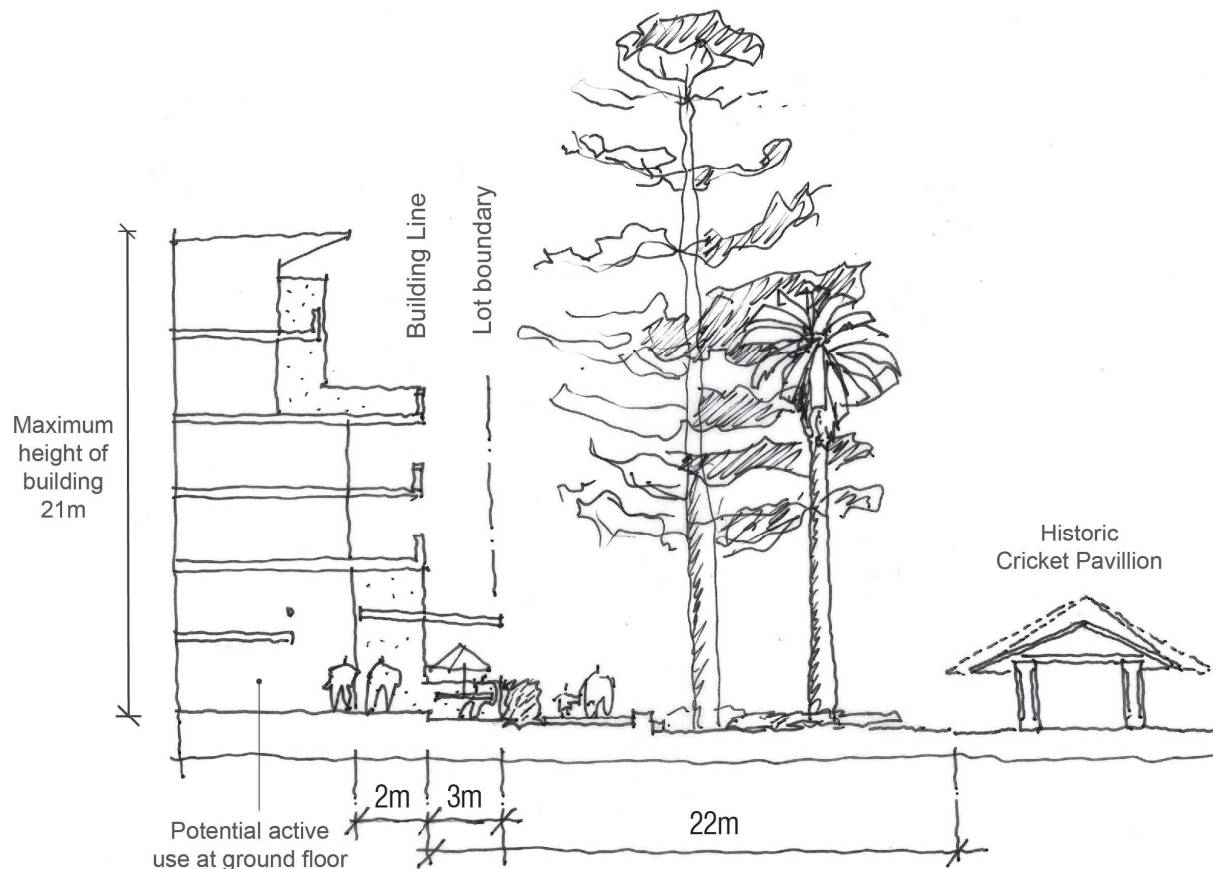


Figure 4.3.6.32. Lot F3 and Open Space 3 Section

Design Controls

- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.33.
- C.2 Vehicular access must be provided from Eastern Circuit West.
- C.3 New development must provide a minimum 22 metre setback from the Cricket Pavilion (C66) located within the open space to the east.
- C.4 New development shall provide a minimum setback of 12 metres from heritage buildings C59 and C65.
- C.5 New development shall provide a minimum setback of 6 metres from heritage building C63.
- C.6 Building setbacks between the southern elevation of C63 and new development must be provided to retain the significant trees on site.
- C.7 A minimum 3 metre landscaped building setback from the Lot boundary, with a recessed 2 metre setback to the glass line must be provided at ground floor along the eastern edge of the development facing the open space and Cricket Pavilion (C66) as shown on Figure 4.3.6.32 and 4.3.6.33.

LOT F3



LOT IDENTIFICATION PLAN



Figure 4.3.6.33. Development Lot F3

Lot F4

Design Objectives

- O.1 Development is to integrate and enhance the interface with the Riparian Corridor.
- O.2 Development is to address Bridge Street and Warrinya Avenue.
- O.3 Development is to retain and incorporate significant vegetation.

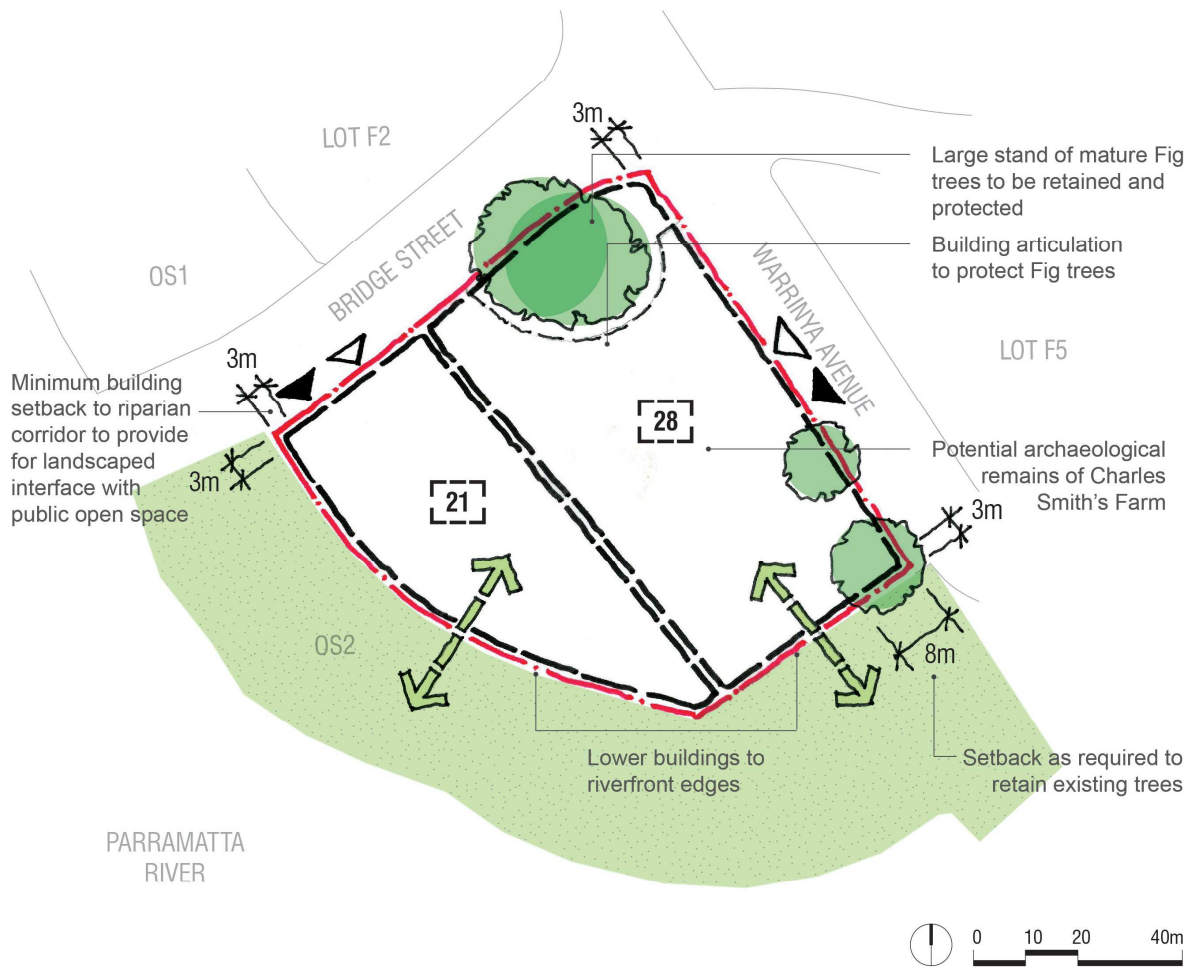
Design Principles

- P.1. The large stand of mature figs and other plantings are to be retained and incorporated within communal open space. Views to the figs from within new development is encouraged.
- P.2 New development must maximise views towards the riparian corridor public open space.
- P.3 The tallest buildings must define Warrinya Avenue and be setback in part to retain identified trees to be retained.
- P.4 New development must provide generous landscaped ground level courtyards opening onto the Riverside corridor to maximise this interface.
- P.5 New buildings must step down in height to the Riparian Corridor.
- P.6 New development must respond to the archaeological remains (if any) of Charles Smiths Farm.

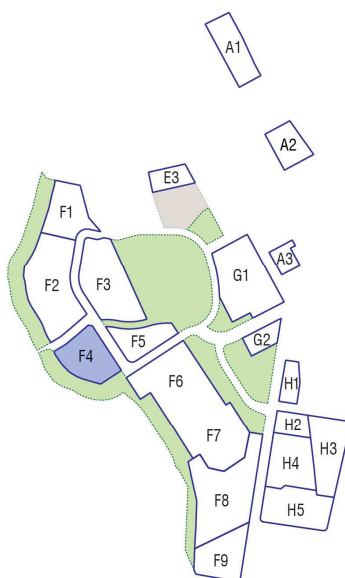
Design Controls

- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.34.
- C.2 Buildings are to be setback 3 metres from the river corridor boundary and be consistent with Figure 4.3.6.34.
- C.3 Buildings to provide a minimum setback from Warrinya Avenue and Bridge Street of between 3 and 8 metres or as required to preserve significant trees as indicated on Figure 4.3.6.34.

LOT F4



LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot Boundary
- Existing trees to be retained where practicable
- # PLEP 2011 maximum building height (m)
- Minimum building setback
- Preferred building address
- Preferred parking/service access
- Important relationship to public open space

Figure 4.3.6.34. Development Lot F4

Lot F5

Design Objectives

- O.1 The former Staff Dining Room and Kitchen (Building C70) and its landscape setting must be conserved and adapted consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*
- O.2 New development must be consistent with the requirements of the *PNHS CMP* for the former Staff Dining Room and Kitchen (Building C70) and its landscape setting and the adjacent Historic Core.

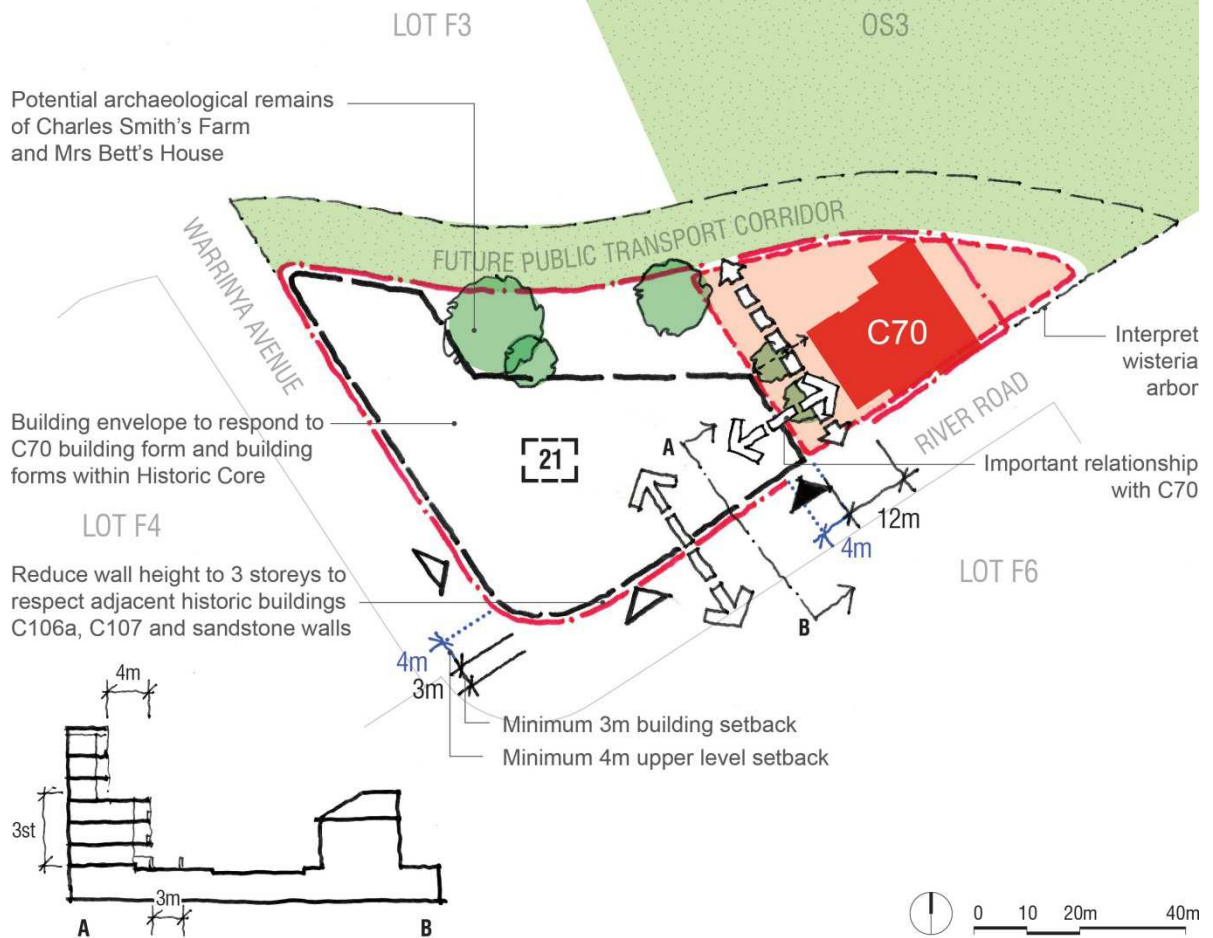
Design Principles

- P.1 The former Staff Dining Room and Kitchen (Building C70) and its landscape setting must be conserved and adapted as an integral part of Lot F5.
- P.2 New development must be of an architectural design and character that respects the heritage significance and landscape setting of the heritage building.
- P.3 New development must provide building setbacks which respond to the context and provide adequate transition to existing built form.
- P.4 The built form/envelopes of the new development must step down in height adjacent to the heritage building within the Lot (C70) and the adjacent Historic Core.
- P.5 New development must be aligned to the two streets and reduced in height along the River Road frontage to minimise visual impacts on the heritage buildings and walls of the Historic Core.
- P.6 The design and treatment of new buildings must have regard to the adjoining planned light rail route to the north.
- P.7 New development must respond to the archaeological remains (if any) of Charles Smiths Farm and Mrs Betts House.

Design Controls

- C.1 Development must demonstrate compliance with the built form controls indicated on Figure 4.3.6.35.
- C.2 A minimum 12 metre wide cross-site pedestrian link is to be provided to conserve the setting of C70 (refer to the *PNHS CMP*).
- C.3 A maximum 3 storey street wall is to be provided to River Road with a 4 metre setback for the upper levels to respond to the historic building C106.
- C.4 The tower setback of new buildings shall respond to the historic building C70.
- C.5 The building alignment of new buildings is to reflect the C70 building alignment along River Road.
- C.6 Buildings are to be setback a minimum of 3 metres to the River Road frontage.
- C.7 Buildings may have a 0 metre setback on Warrinya Avenue. The ground floor is to be recessed by 3 metres to allow courtyard areas. Double storey residential units are preferred on the ground floor.
- C.8 The adaptative reuse of C70 must facilitate public pedestrian access within its curtilage and remain free of fencing or barriers wherever possible.

LOT F5



LOT IDENTIFICATION PLAN

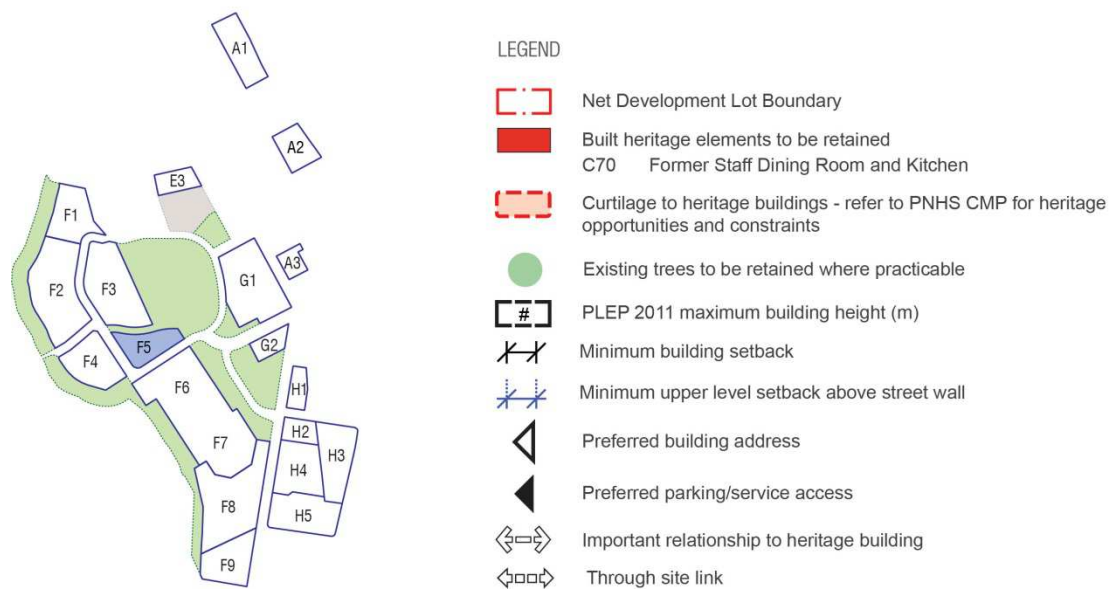


Figure 4.3.6.35. Development Lot F5

Lots F6, F7 and F8 (Historic Core)

Design Objectives

- O.1 All significant elements within the Historic Core must be conserved and adapted consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*.
- O.2 Any new development must be consistent with the *PNHS CMP* for the Historic Core.
- O.3 Any new development must respect and interpret the site's archaeological resource.

Design Principles

- P.1 All significant elements within the Historic Core must be conserved and adapted to sustainable long-term new uses.
- P.2 Any new development within the Historic Core is limited to new buildings and structures that are required to support the appropriate and sustainable long-term use(s) of the significant elements within the Historic Core.
- P.3 New development within the Historic Core must be of an architectural design and character that respects the heritage significance and landscape setting of the Historic Core.
- P.4 New development must provide building setbacks which respond to the context and provide adequate transition to existing built form.
- P.5 New development must respond to the archaeology of the Historic Core.
- P.6 New development must include opportunities for heritage interpretation consistent with the *PNUT Heritage Interpretation Strategy*.
- P.7 New development must include opportunities for through site links and pedestrian access through the Historic Core consistent with the *PNHS CMP*.

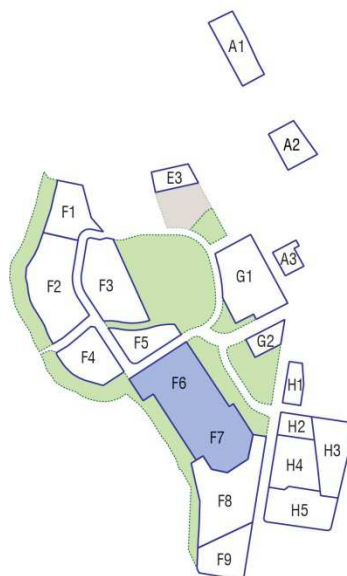
Design Controls

- C.1 Any new buildings must demonstrate accordance with the *PNHS CMP*.
- C.2 Development must demonstrate compliance with controls as indicated on Figures 4.3.6.36 and 4.3.6.37.
- C.3 Any new buildings must demonstrate design excellence by having regard to Clause 6.12 (4) of the *Parramatta Local Environmental Plan 2011*.
- C.4 A minimum 6 metre setback to the south of Bethel House (N06) is to be maintained to any lot boundary.
- C.5 The treatment and use of the courtyard areas between historic buildings and structures are to conserve the visual relationship between buildings and facilitate pedestrian activity and activation and reuse of historic buildings.
- C.6 Vehicular access and above ground parking should be minimised within the Historic Core.

LOTS F6/F7 HISTORIC CORE



LOT IDENTIFICATION PLAN



LEGEND

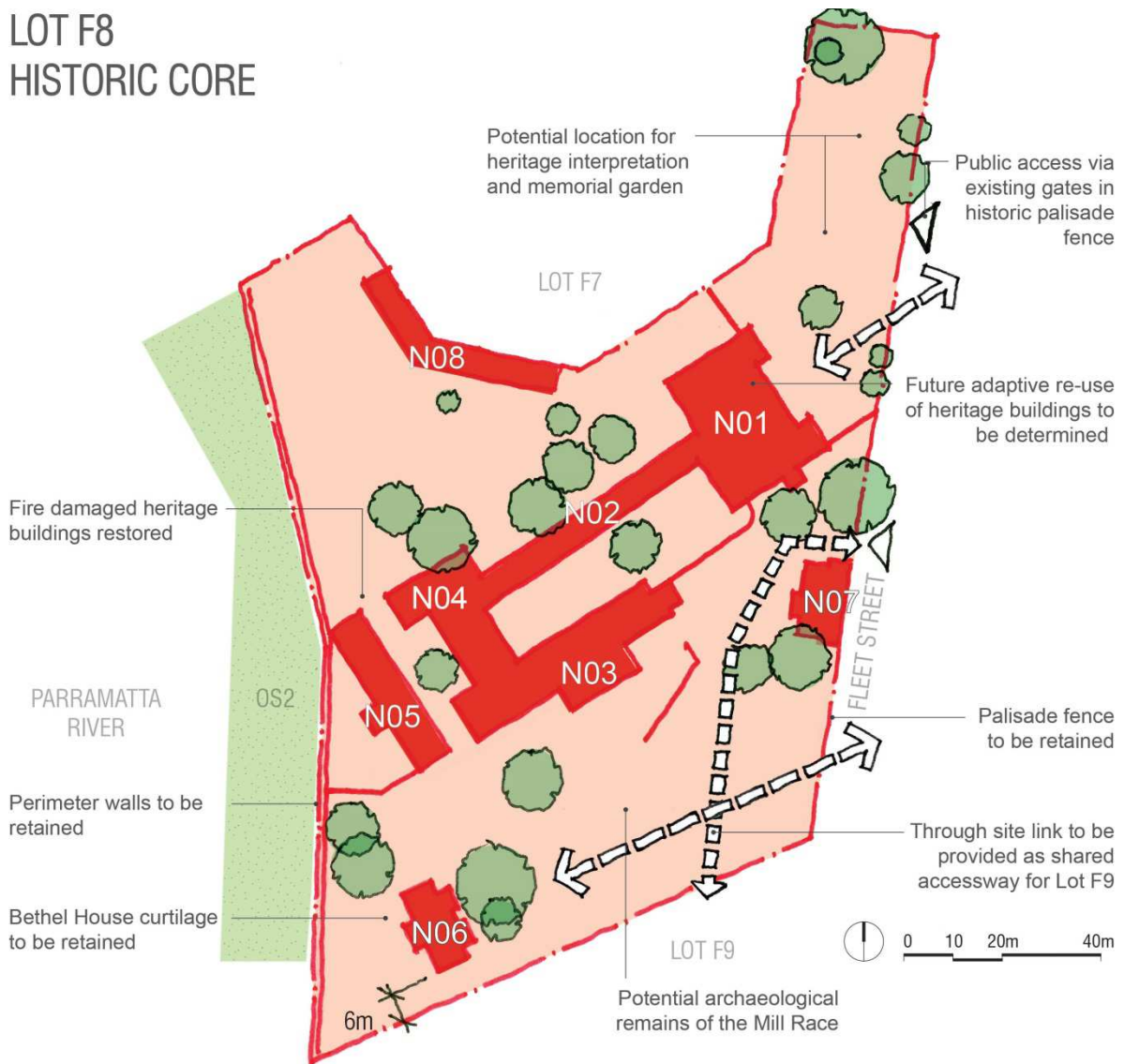
	Net Development Lot Boundary
	Built heritage elements to be retained
C101	Former Male Asylum Ward 1/Hope Hostel
C100a	Former Female Shelter Shed & Store
C102	Former Dining Room for Male Asylum Ward 1
C103	Former Female Factory Southeast Range
C114	The Dead House (Part of Parramatta Lunatic Asylum Complex)
C115	Sandstone perimeter walls (Female Factory)
C116	Sandstone compound walls (Female Factory)
C104	Former Main Hospital Kitchen Building
C104a	Former Kitchen Annex/Dormitory/Bathrooms
C105	Former Dormitory of Third Class Penitentiary
C105a	Former 'Wet & Dirty' Ward/Ward 8
C106	Former West Range of Ward 4
C106a	Former North Range of Ward 4
C107	Former Male Asylum Wards 2 and 3 / Spinal Range
C109	Former Ward 2 and Visitor's Annex
C110	Male Shelter Shed
C111	Former Female Factory Northeast Range
C117	Lunatic Asylum Wall Remnants
C118	Lunatic Asylum Privy Remnants

(Refer to PNHS CMP for heritage opportunities and constraints)

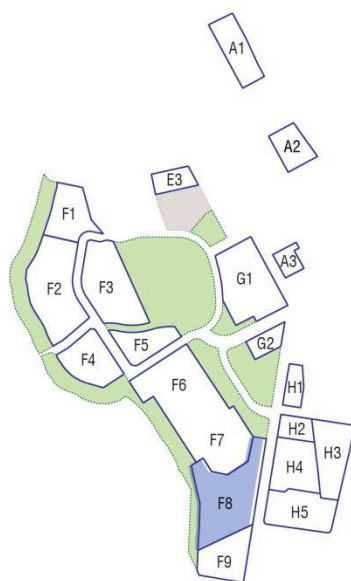
	Curtilage to heritage buildings - refer to PNHS CMP for heritage opportunities and constraints
	Existing trees to be retained where practicable
	Preferred building address
	Preferred parking/service access
	Through site link
	Important Relationship to Public Open Space (Historic)
	General location of potential support building (subject to Conservation Management Plan guidelines and design excellence)

Figure 4.3.6.36 Lots F6/F7

LOT F8 HISTORIC CORE



LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot boundary
- Built heritage elements to be retained
 - N01 Main Building (Administration Building)
 - N02 Covered Way
 - N03 South-West Range
 - N04 Chapel
 - N05 Laundry
 - N06 Bethel House (Former Hospital)
 - N07 Gatehouse
 - N08 Sheds (Carriage Shed/Stables/Play Shed/Stores and Toilets)
 (Refer to PNHS CMP for heritage opportunities and constraints)
- Curtilage to heritage buildings - refer to PNHS CMP for heritage opportunities and constraints
- Existing trees to be retained where practicable
- Preferred building address
- Preferred parking/service access
- Through site link - shared accessway (public right of way)
- Important relationship to heritage building

Figure 4.3.6.37. Development Lot F8

Lot F9

Design Objectives

- O.1 Any development is to be consistent with the requirements of the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*, particularly for the curtilage of Bethel House.
- O.2 Views from Fennel Street looking west towards Bethel House and the Parramatta River foreshore and beyond must be maintained.

Design Principles

- P.1. No new development must be located within the curtilage of Bethel House.
- P.2 Any new development must be located in the south eastern portion of Lot F9 and must step down in scale to the north.
- P.3 The development potential of the western part of Lot F9 is impacted by the existing endangered Grey-headed Flying Fox (GHFF) colony location. Future development must be consistent with the ecological protection and management requirements of the site.
- P.4 Views directly down Fennell Street into the Historic Core must be retained at the northern extent of the site. Oblique views into the site from Fleet Street must be retained.
- P.5 New development must consider views from the World Heritage listed Old Government House and Domain precinct.
- P.6 A north – south cycling and pedestrian link is to be provided to ensure between Fleet Street, the Parramatta Stadium area and Parramatta Park via the existing pedestrian bridge.

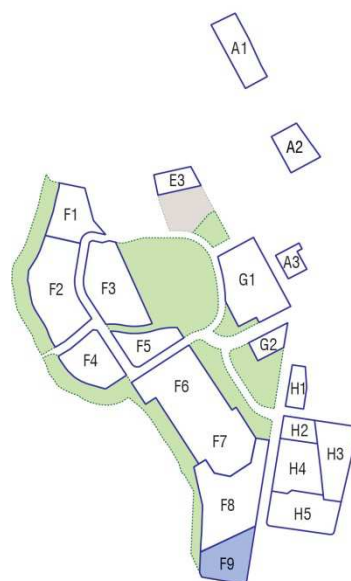
Design Controls

- C.1 Development must demonstrate compliance with controls as indicated on Figure 4.3.6.38.
- C.2 Any boundary to Lot F8 is to be a minimum of 6 metres south of Bethel House.
- C.3 A minimum building setback of 4 metres to the eastern and southern boundaries is to be provided.
- C.4 Significant vegetation south of the Bethel House curtilage shall be retained as shown in Figure 4.3.6.38 and treated with appropriate supplementary landscaping.
- C.5 New development shall address the new pedestrian through-site link.
- C.6 New development must demonstrate that adequate vehicular access is provided through Lot F8 to the north or Eels Place to the south.

LOT F9



LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot Boundary
- Built heritage elements to be retained
Walls and palisade fence
- # PLEP 2011 maximum building height (m)
- Curtilage to Bethel House - refer to PNHS CMP for heritage opportunities and constraints within this area
- No build zone
- Existing trees to be retained where practicable
- Minimum building setback
- ✱ Important corner
- ▶ Preferred building address
- ◀ Preferred parking/service access
- Through site link – shared accessway (public right of way)

Figure 4.3.6.38. Development Lot F9

Lot G1

Design Objectives

- O.1 The former Nurses Home (Building C83) and its landscape setting must be conserved and adapted consistent with the *Parramatta North Historic Sites Consolidated Conservation Management Plan (PNHS CMP)*.
- O.2 New development must be consistent with the requirements of the *PNHS CMP* for the former Nurses Home (Building C83) and its landscape setting
- O.3 New development must provide a neighbourhood retail and commercial precinct located on Factory Street.
- O.4 New development must accommodate the planned light rail route access into the site via Factory Street.

Design Principles

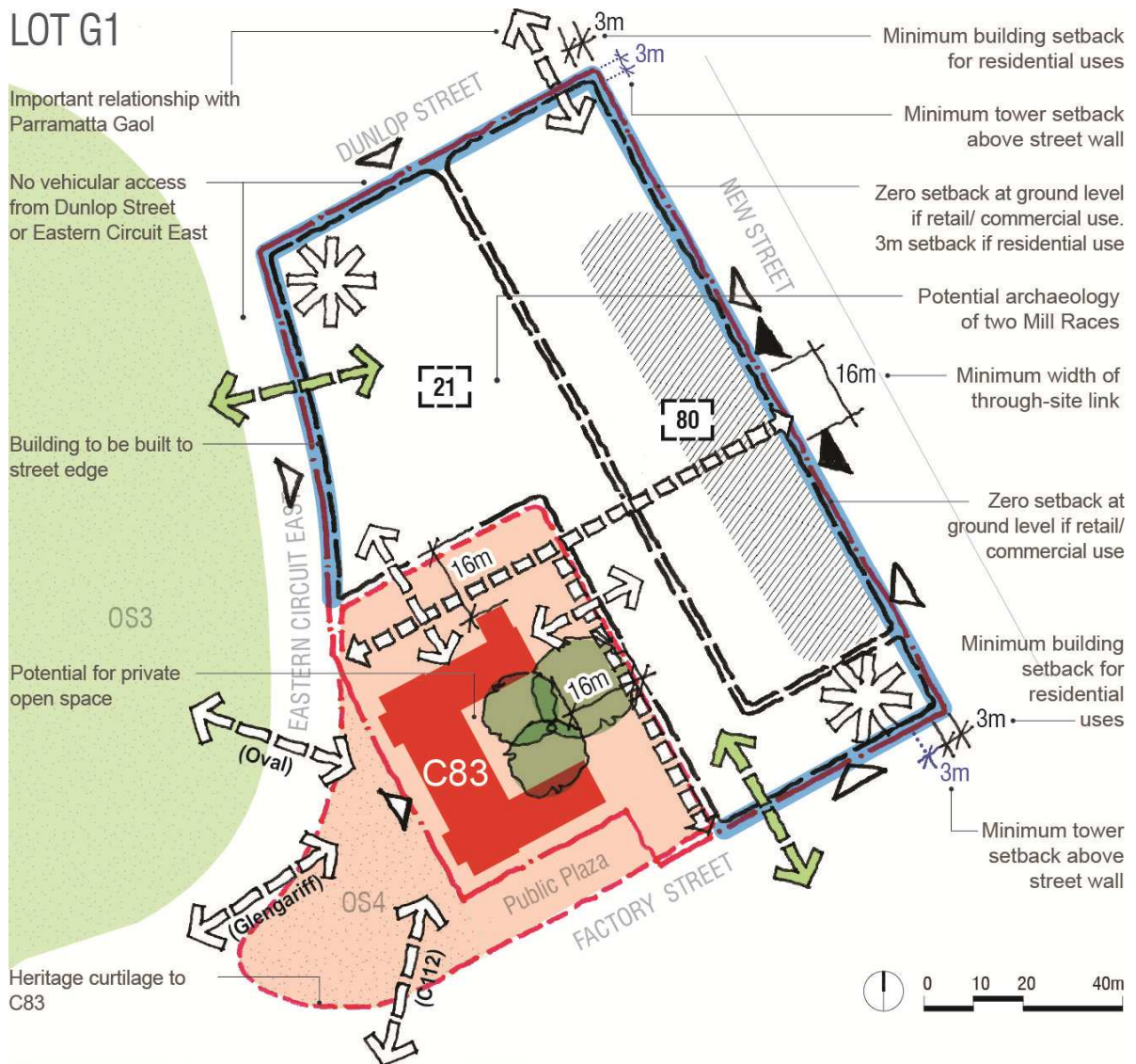
- P.1 The former Nurses Home (Building C83) and its landscape setting must be conserved and adapted as an integral part of Lot G1.
- P.2 New development within G1 must be of an architectural design and character that respects the heritage significance and landscape setting of the heritage building (C83) and the adjacent Parramatta Gaol.
- P.3 New development must create a new neighbourhood retail precinct for the PNUT area and have an urban character.
- P.4 The new neighbourhood retail precinct must allow for and integrate with the planned light rail route along Factory Street.
- P.5 New development must provide building and tower setbacks which provide adequate transition to existing built form.
- P.6 The surrounding public domain shall be of high quality and allow for wide footpaths and the establishment of street trees.
- P.7 The built form/envelopes of the new development must step down in height adjacent to the Nurses Home (Building C83) and the pedestrian through-site link.
- P.8 New development must provide a publicly accessible east-west through site pedestrian link.
- P.9 New development must locate retail and/or active uses along the Factory Street frontages and the through-site link.
- P.10 Any taller built form must be located to reinforce the New Street alignment and the built form/envelope must step down in height towards the historic Parramatta Gaol and Factory Street.
- P.11 No vehicular access must be provided from Dunlop Street or Eastern Circuit East. Vehicular access is preferred from New Street.

- P.12 Active retail frontages along Factory Street must include weather protection in the form of awnings and/or colonnade treatments.
- P.13 Basement parking may extend beyond the building footprint subject to an assessment of the landscape impacts and demonstration that areas available for deep soil planting are maximised wherever possible.

Design Controls

- C.1 Development must demonstrate compliance with controls as indicated on Figure 4.3.6.39.
- C.2 A 0 metre building setback is required where active commercial/retail uses are proposed along Factory Street.
- C.3 Active commercial/retail uses must provide awnings, and designed to make allowance for the full extent of mature street tree canopies.
- C.4 Development along Dunlop Street must:
- Provide a 0 metre building setback only where the provision of a minimum 4.2 metre footpath is provided in accordance with Figure 4.3.6.8 - Typical Street Section 3 – Dunlop Street; and
 - Recess 3 metres at ground floor to allow courtyard areas. Double storey residential units are preferred.
- C.5 Development along Eastern Circuit East must:
- Provide a 0 metre building setback, only where the provision of a minimum 4.3 metre footpath is provided in accordance with Figure 4.3.6.11 - Typical Street Section 6 – East Circuit (East).
 - Recess 3 metres at ground floor to allow courtyard areas. Double storey residential units are preferred.
- C.6 Where the minimum footpath standards cannot be met along Dunlop Street and Eastern Circuit East, the building setback control shall be consistent with the 3 metre building setback control in Section 4.3.6.2 of this DCP.
- C.7 Development along New Street must provide a 3 metre building setback.
- C.8 A link from the East-West Link is to be provided to connect to Factory Street within the curtilage of the Nurses Home.
- C.9 A 16 metre wide east-west cross-site pedestrian link from New Street to Eastern Circuit East is to be provided. This must be open to the sky.
- C.10 A minimum 16 metre setback is to be provided between the Nurses Home (Building C83) and any new building.
- C.11 The adaptive reuse of the Nurses Home (Building C83) must facilitate pedestrian public access within its curtilage (to the North, West and South) and remain free of fencing or barriers wherever possible. No above ground parking is allowed.

LOT G1



LOT IDENTIFICATION PLAN

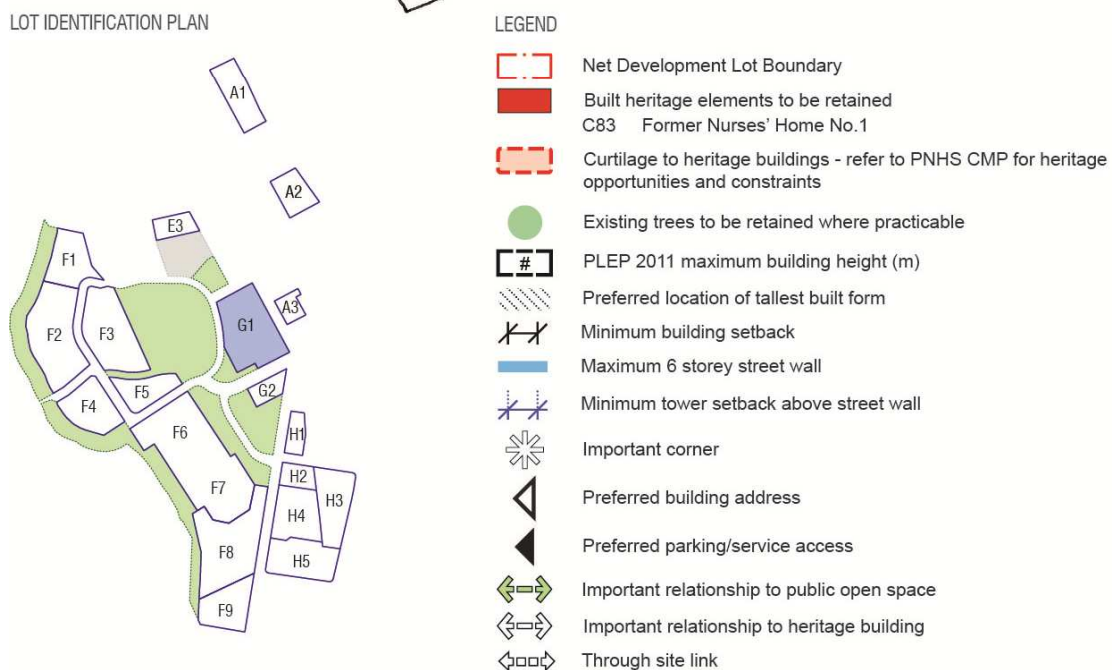


Figure 4.3.6.39. Development Lot G1

Lot G2

Design Objectives

- O.1 New development should facilitate a neighbourhood retail and commercial precinct on Factory Street.
- O.2 New development should improve the quality of the interface with the adjoining open space.

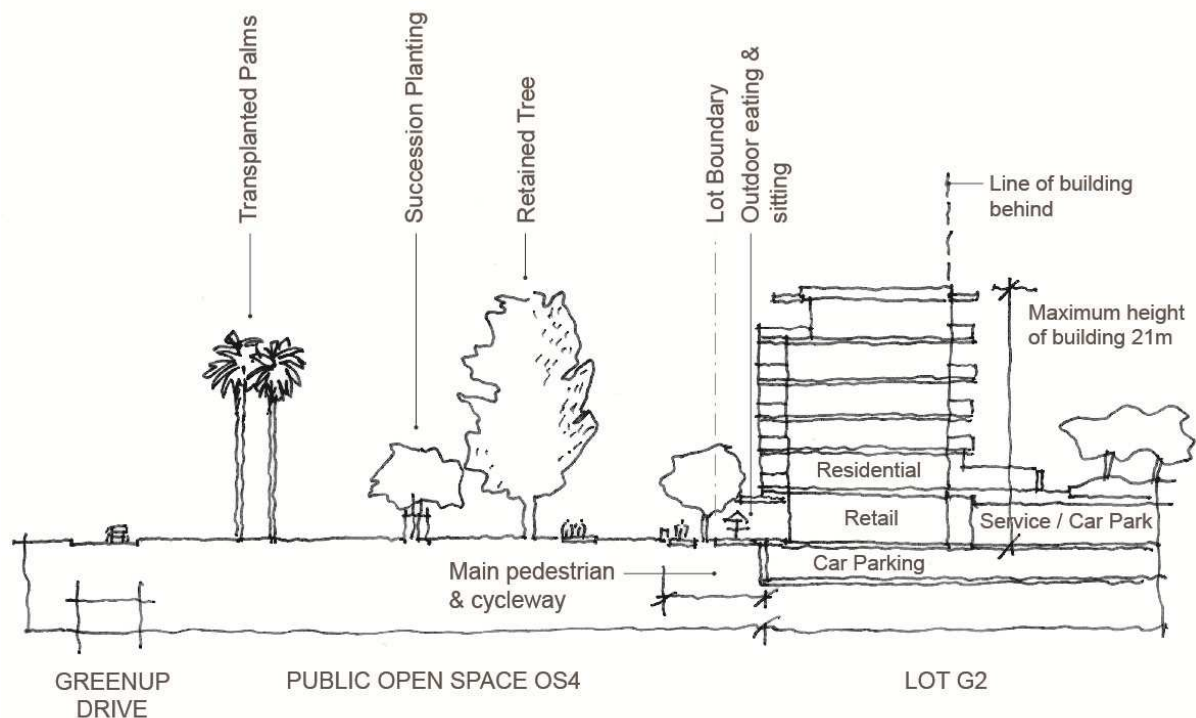


Figure 4.3.6.40. Lot G2 interface with open space

Design Principles

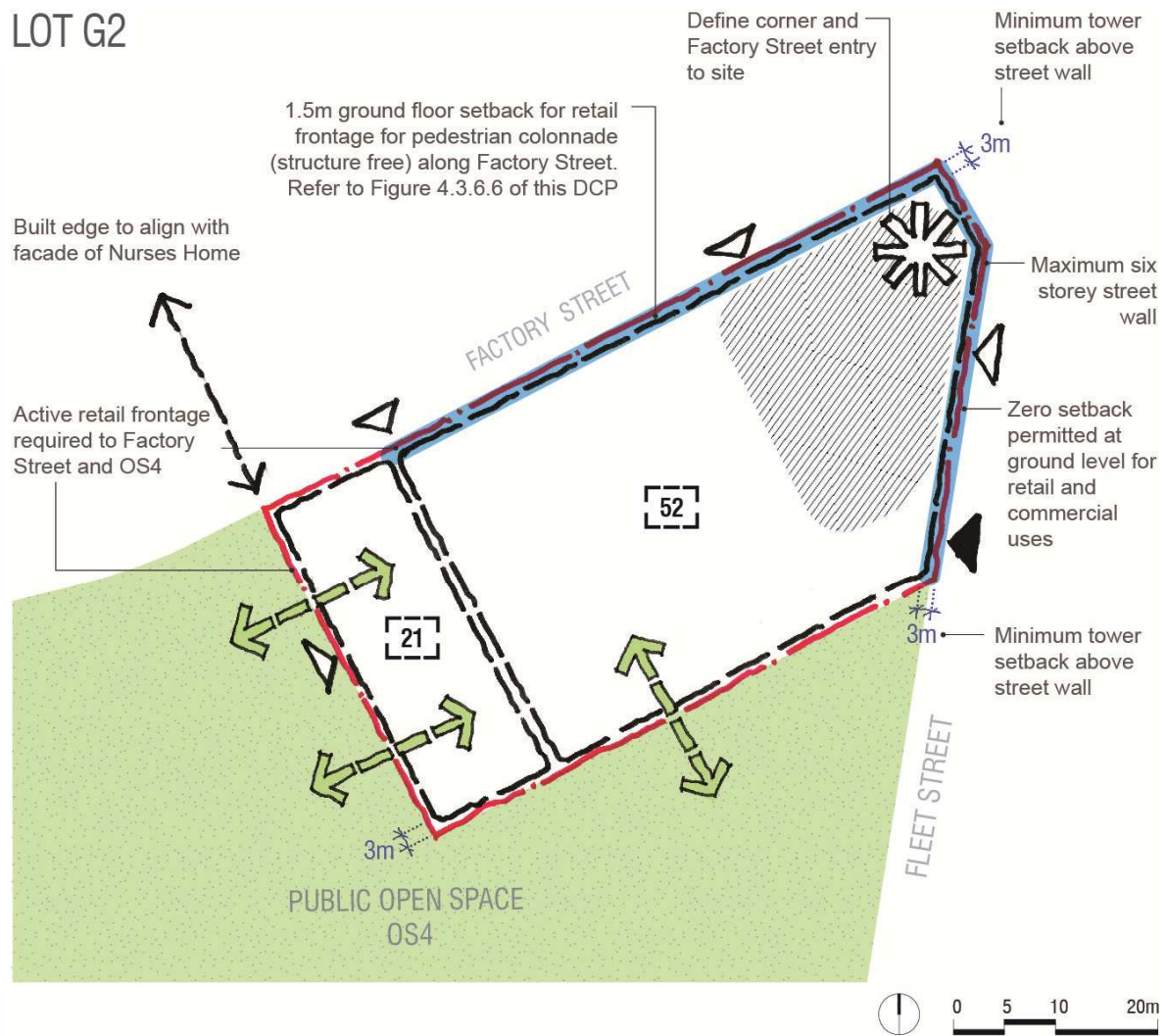
- P.1 New development must define street edges and the Factory Street entry point to the PNUT.
- P.2 Any taller built form must be located to reinforce the north eastern corner and the built form must step down to reduce overshadowing on the Public Open Space (OS4).
- P.3 New development must create a new neighbourhood retail precinct for the PNUT area and have an urban character.
- P.4 The new neighbourhood retail precinct must allow for and integrate with the planned light rail route along Factory Street.

- P.5 Setbacks to the open space are to include landscaped courtyards and/or active uses.
- P.6 Basement parking may extend beyond the building footprint subject to an assessment of the landscape impacts and demonstration that areas available for deep soil planting are maximised wherever possible.

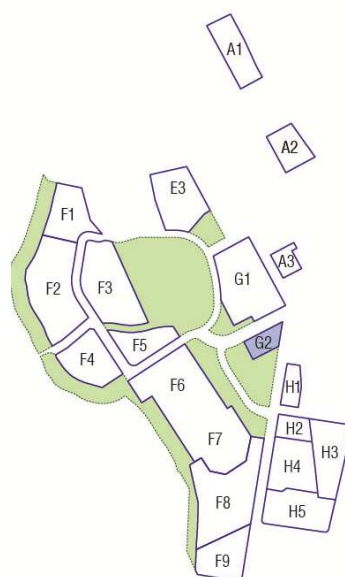
Design Controls

- C.1 Development must demonstrate compliance with controls as indicated on Figures 4.3.6.40 and 4.3.6.41
- C.2 New development must provide active retail frontages to Factory Street and Fleet Street.
- C.3 A 0 metre building setback is allowed where active commercial/ retail uses are proposed along Factory Street. A minimum 1.5 metre colonnade, free of structures, is to be provided at ground level as an extension of the public footpath, as indicated on Figure 4.3.6.6.
- C.4 Vehicular access is to be from Fleet Street to avoid disrupting the Factory Street retail frontage.
- C.5 New development to provide a minimum 3 metre upper level building setback to street frontages and rear and side boundaries.
- C.6 The western edge of the new built form must align with the western façade of the Nurses Home across Factory Street.
- C.7 New development must maximise the interface with the Public Open Space (OS4) provide active ground level frontages and opportunities for casual surveillance from apartment building facades (refer to Figure 4.3.6.40).
- C.8 New development must demonstrate, through design testing, that overshadowing impacts to open space are minimised.

LOT G2



LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot Boundary
- # PLEP 2011 Maximum Building Height (m)
- Preferred Location of Tallest Built Form
- Maximum 6 storey street wall
- Minimum tower setback above street wall
- Important Corner
- Preferred building address
- Preferred parking/service access
- Important Relationship to Public Open Space

Figure 4.3.6.41. Development Lot G2

Lot H1

Objectives

- O.1 Development is to retain and respond to the historic Quarry Face and retain the early sandstone walling along Fleet and Albert Streets.
- O.2 Development is to integrate and transition to surrounding urban development.

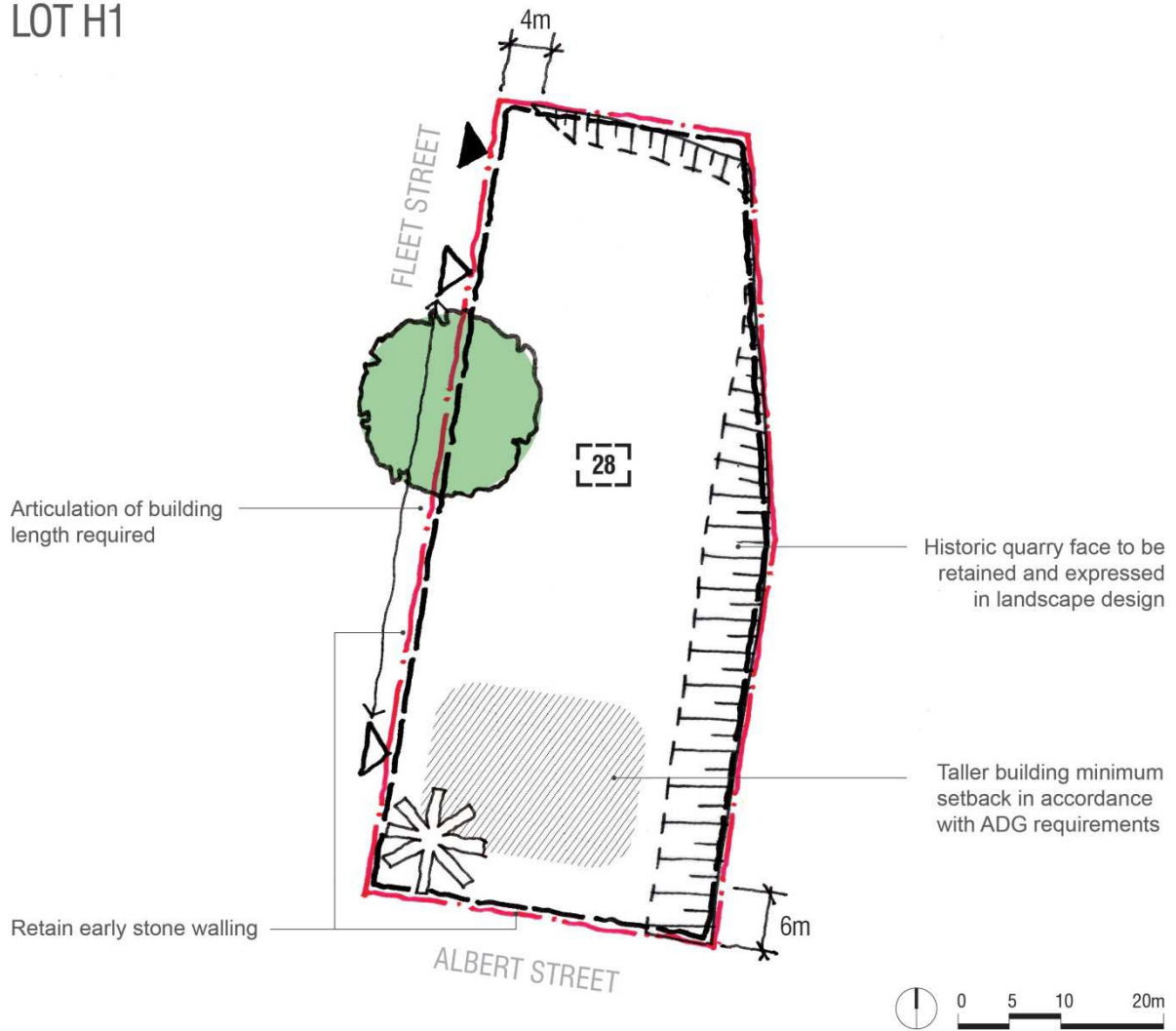
Design Principles

- P.1 New development within H1, H2, H3, H4 and H5 must retain the sandstone quarry face and early sandstone walls to Fleet and Albert Streets.
- P.2 New buildings must be designed to interpret the change in level and allow some views of the quarry face from within the lot and from the Albert Street steps.
- P.3 New development must provide building setbacks which respond to the context and provide adequate transition to existing built form.
- P.4 Any taller built form must be located in the southern portion of the lot to reinforce the Fleet Street/Albert Street corner with heights transitioning down to adjacent existing development to the north.

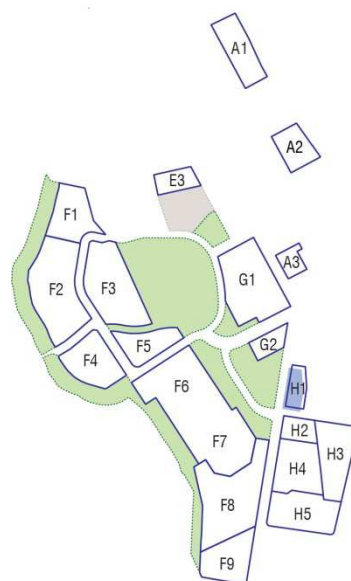
Design Controls

- C.1 Development must demonstrate compliance with controls as indicated on Figure 4.3.6.42.
- C.2 Buildings are to be setback a minimum of 4 metres from Fleet Street.
- C.3 Buildings are to be setback a minimum of 6 metres from Albert Street.
- C.4 The 4 metre building setback from Fleet Street is required to provide landscaped courtyards to ground floor units and the 6 metre building setback to Albert Street is to respond to the landscape quality of that street.

LOT H1



LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot Boundary
- Existing trees to be retained where practicable
- # PLEP 2011 maximum building height (m)
- Preferred location of tallest built form
- ✱ Important corner
- Minimum building setback
- Preferred building address
- Preferred parking/service access

Figure 4.3.6.42. Development Lot H1

Lots H2-H5

Objectives

- O.1 Development is to integrate and transition to surrounding urban development.
- O.2 Development is to respond to and retain the historic Quarry Face.

Design Principles

- P.1 New development within H1, H2, H3, H4 and H5 must retain the sandstone quarry face and early sandstone walls to Fleet and Albert Streets.
- P.2 New development must be designed to interpret the change in level and allow some views of the quarry face from within the lots and from the Albert Street steps.
- P.3 New development must provide building setbacks which respond to the context and provide adequate transition to existing built form.
- P.4 New development may include a pedestrian through-site link connecting O'Connell Street with Fleet Street and transitioning across the quarry face.
- P.5 New development within the lots must comprise a series of high quality apartment buildings with a diversity of scale and architectural character.
- P.6 Low rise buildings (6 storeys maximum) must define the external street edges with the exception of Albert Street where 8 storey buildings may be developed.
- P.7 Tall buildings must be located internally and minimise overshadowing to existing and new development. Towers must be expressed above 6 storey podiums, which must define public and communal spaces.
- P.8 All new buildings to have addresses and lobbies with access to a public street or through site link.
- P.9 Development fronting Fleet Street must respect the visual relationship with the Historic Core to the west.

Design Controls

- C.1 Development must demonstrate compliance with controls as indicated on Figure 4.3.6.43.
- C.2 A cross-site pedestrian link is to be provided centrally between O'Connell Street and Fleet Street to align with Harold Street.
- C.3 A minimum 4 metre building setback to Fleet Street is to be provided.
- C.4 A minimum 6 metre building setback to Albert, O'Connell and Fennel Streets is to be provided.
- C.5 All new buildings are to address public streets.

LOTS H2-H5

Retain early stone walling on Albert Street

Historic quarry face to be retained and expressed in landscape design

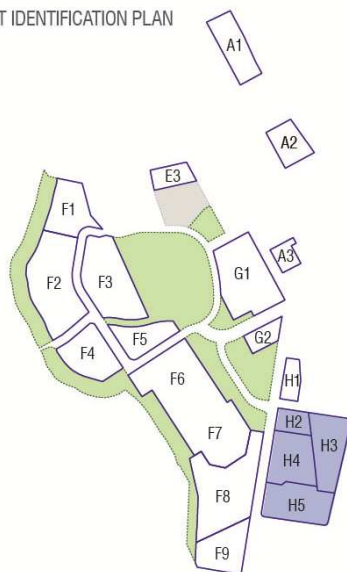
Articulation of building length required

Potential pedestrian through site link subject to future investigation

Important relationship with heritage buildings opposite (Lot F8)

Minimum building setbacks

LOT IDENTIFICATION PLAN



LEGEND

- Net Development Lot Boundary
- Existing Cadastre
- Existing trees to be retained where practicable
- # PLEP 2011 Maximum Building Height (m)
- Preferred Location of Tallest Built Form
- Minimum building setback
- Important Corner
- Preferred building address
- Preferred parking/service access
- Important Relationship to Heritage Building
- Through site link

Figure 4.3.6.43.

Development Lots H2 – H5